



View of Chepstow Green key space.

Oakley Vale, Corby

# Phase 8 Design Code

August 2025

Prepared by Thrive Architects on behalf of the Great Oakley Estate

# Contents

## 1. Introduction 3

Introduction	4
Design Codes & Compliance	5
Background	6
Character Assessment Study	8

## 2. Placemaking 17

Development Framework	18
Land Use	20
Densities	21
Building Heights	22
Movement Framework	23
Regulating Plan	24
Temperature Control	25
Character Areas, Key Spaces & Key Buildings	26
Local Centre Interface & Chepstow Road	28
The Loop	30
Inner Streets	34
Oakley Vale & Harper's Brook East	36
Green & Blue Infrastructure	38
Soft Landscaping Strategy	40
Landscape and Planting Strategy	44

## 3. Movement & Streets 49

Street Hierarchy	50
Parking, Refuse & Servicing	54
Hard Landscaping	56
Street Furniture	58

## 4. The Pattern Book 63

Introduction	64
Temperature Control Plan	64
Materials	66
Architectural Details	68
Boundary Treatments	72
Hot Areas	74
Warm Areas	88
Cool Areas	98
Minimise Opportunities for Crime	106
Housing Standards	107

### Great Oakley Estate



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# 1. Introduction

# 1 Introduction

## Oakley Vale -Phase 8 Design Code

The Oakley Vale Phase 8 Design Code has been prepared by Thrive Architects on behalf of the Great Oakley Estate.

This Design Code relates to the Phase 8 of a wider residential-led mixed use development known as Oakley Vale located to the south-west of Corby.

### Purpose of the Document

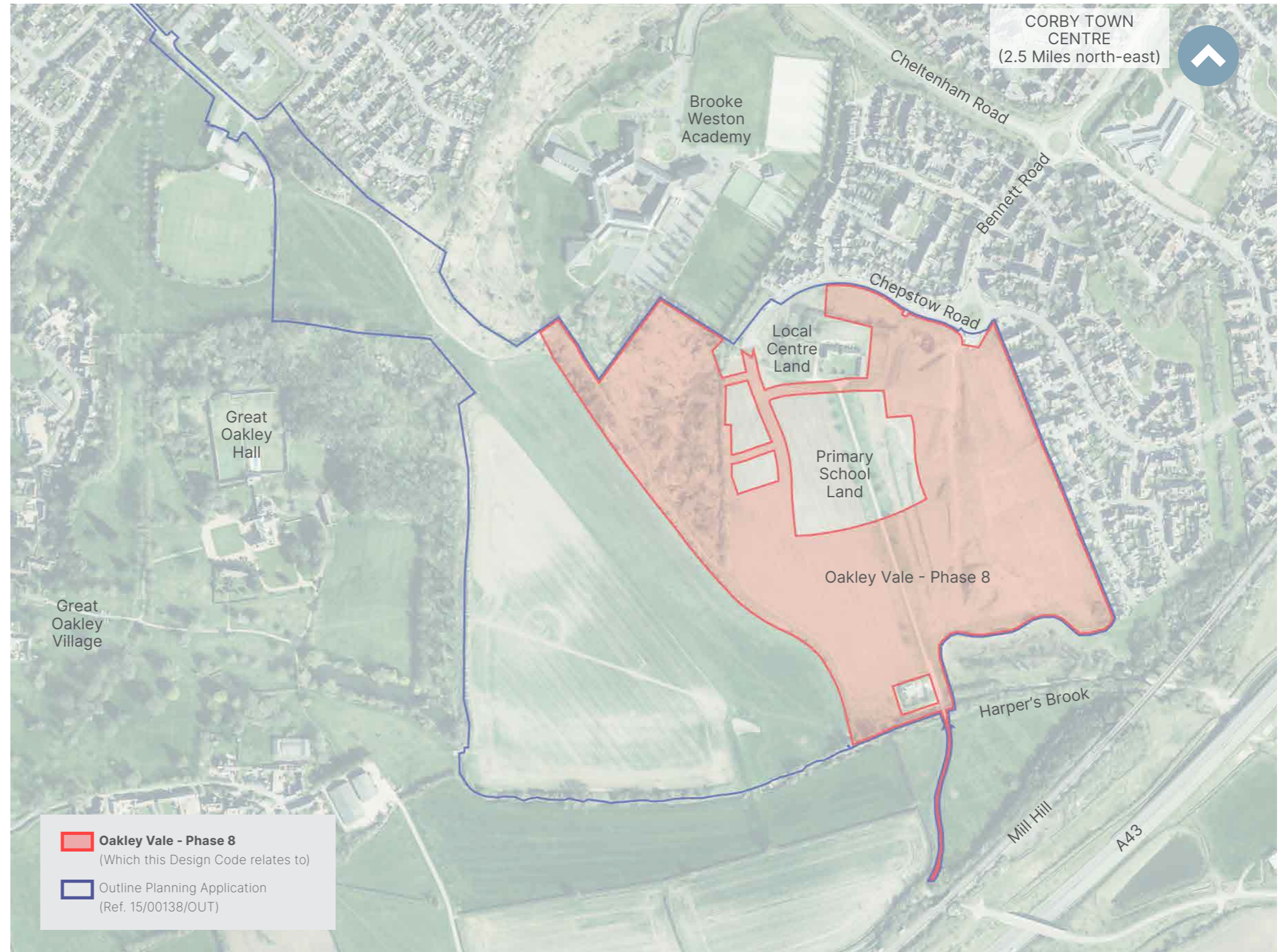
The purpose of this Design Code is to establish clear, measurable, and detailed design parameters that will ensure the Phase 8 development is executed comprehensively and to the highest design standards.

This Design Code builds upon the parameters and conditions established by the outline planning permission for the Oakley Vale development (Ref: 15/00138/OUT), including the relocation of the primary school land, as per the S106 Deed of Variation dated 15th July 2024.

### Site Location

The site is situated on the south-western edge of Corby, approximately 2.5 miles from the town centre. It is part of the Great Oakley Estate, positioned east of Great Oakley Hall and Great Oakley village, and south of Brooke Weston Academy.

Phase 8, extends to 12.66 ha (31.28 acres) excluding the local centre and primary school land.



Site Location Plan.



# Design Codes & Compliance

## Design Codes

The NPPF identifies Design Codes as a tool that should be used to help deliver high quality inclusive design. It also mentions the National Design Guide and the National Model Design Code document, should be used as a guide when preparing Design Codes, particularly in the absence of locally produced Design Guides. Both above documents describe Design Codes as:

“A set of simple, concise, illustrated design requirements that are visual and numerical wherever possible to provide specific, detailed parameters for the physical development of a site or area”

## Compliance with the Code

This Design Code presents design parameters that the development must follow and that the Reserved Matters application should be in accordance with.

Reserved Matters Applications will need to provide a compliance statement that demonstrates compliance with this code.

### Flexibility

Flexibility in the code is allowed, through exceptions or variances, to respond to changing needs. However, such variances or exceptions would need to demonstrate their positive impact on placemaking, or their responsiveness to evolving legislation, circumstances, and technological advancements.

## Using the Design Code

This Design Code is designed to be a concise and accessible document, intended for use by developers, design teams, and North Northamptonshire Council (NNC) officers involved in evaluating Reserved Matters applications. The document provides a clear set of design rules, through the use of text and images, that should be viewed in its entirety, rather than in isolation.

The Design Code is organised in four sections:

### 1. Introduction

This section outlines the purpose of the design code, explains the background of the project, and summarises the overarching vision and objectives for the Oakley Vale development. Additionally, it provides a detailed character assessment, highlighting the key character influences that have shaped the design approach.

### 2. Placemaking

The Placemaking section sets the parameters for the scale, massing, and arrangement of buildings and identifies character areas and key groupings to establish a hierarchy of streets and spaces.

A regulating plan serves as the main reference for designers, compiling essential design parameters for the development.

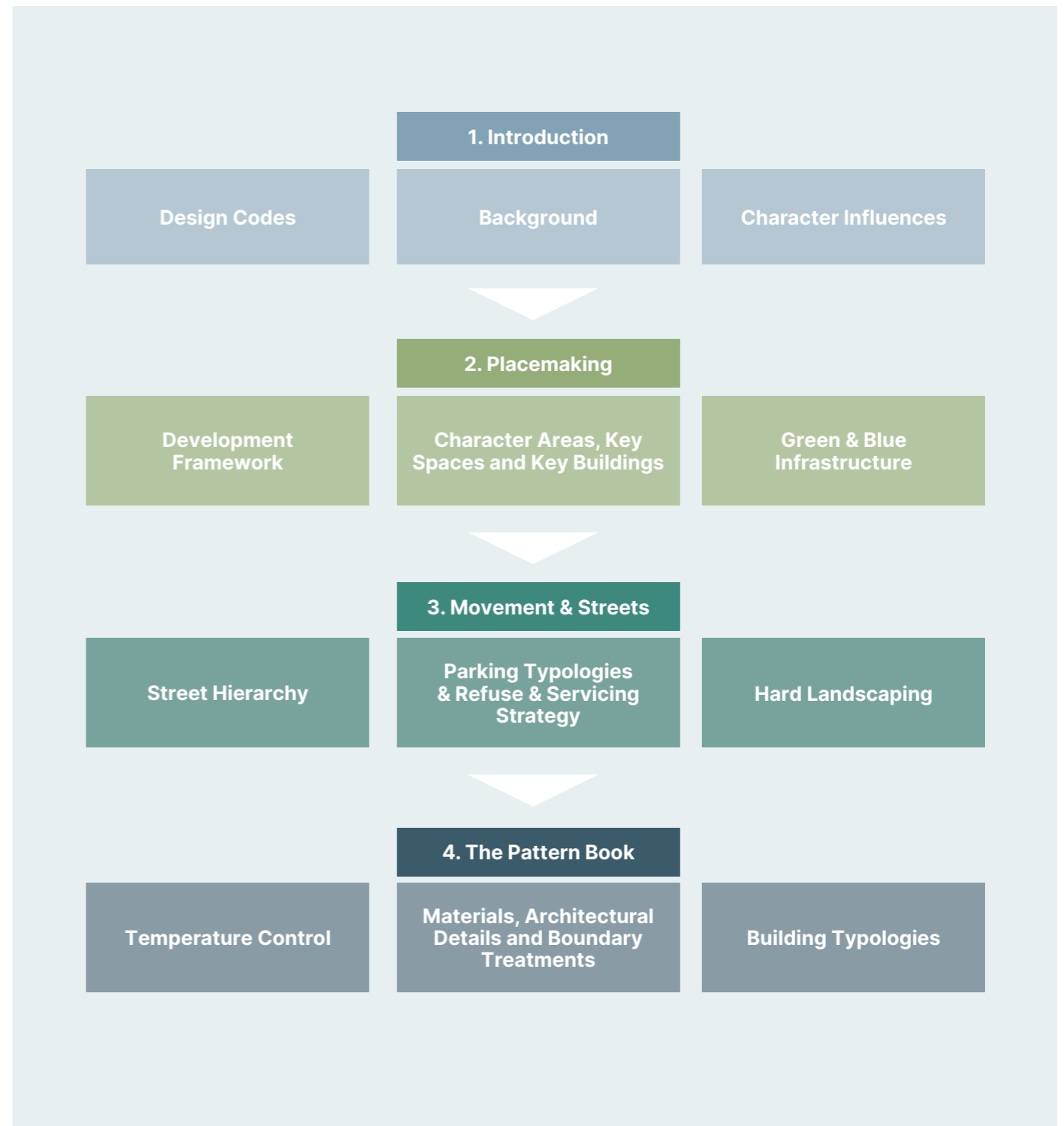
### 3. Movement & Streets

The Movement & Streets section provides design guidance for the streets and the cycle and pedestrian routes within the neighbourhood, setting the parameters for a high quality movement network.

### 4. The Pattern Book

The Pattern Book provides guidance on architectural detailing for the different temperature control buildings, drawing from the character of nearby villages.

## Design Code Structure



# 1 Background

## Oakley Vale - Outline Planning Permission 15/00138/OUT

The Oakley Vale development received outline planning permission (Ref: 15/00138/OUT) on 7 June, 2018 and comprises up to 530 dwellings, a local centre, a primary school and a wide range of public open spaces.

## Condition 05 - Design Codes

Condition 5 within the Grant of Planning Permission sets out the key information that the Design Code will need to cover. A summary of this information is provided as follows:

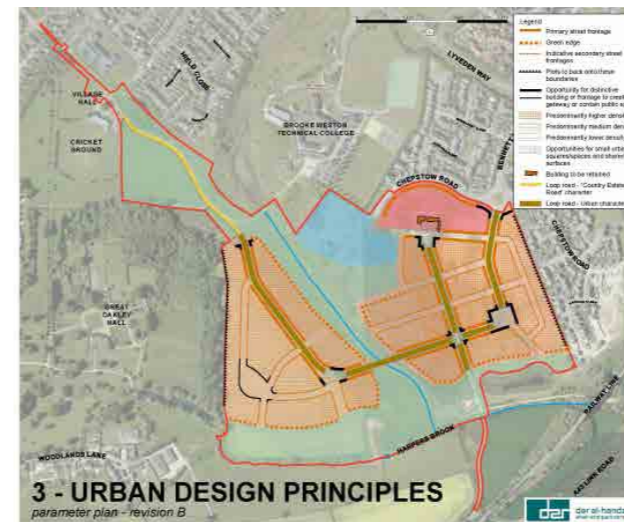
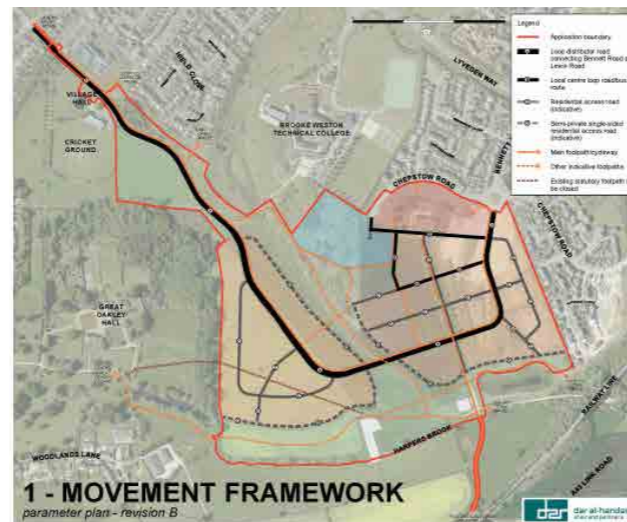
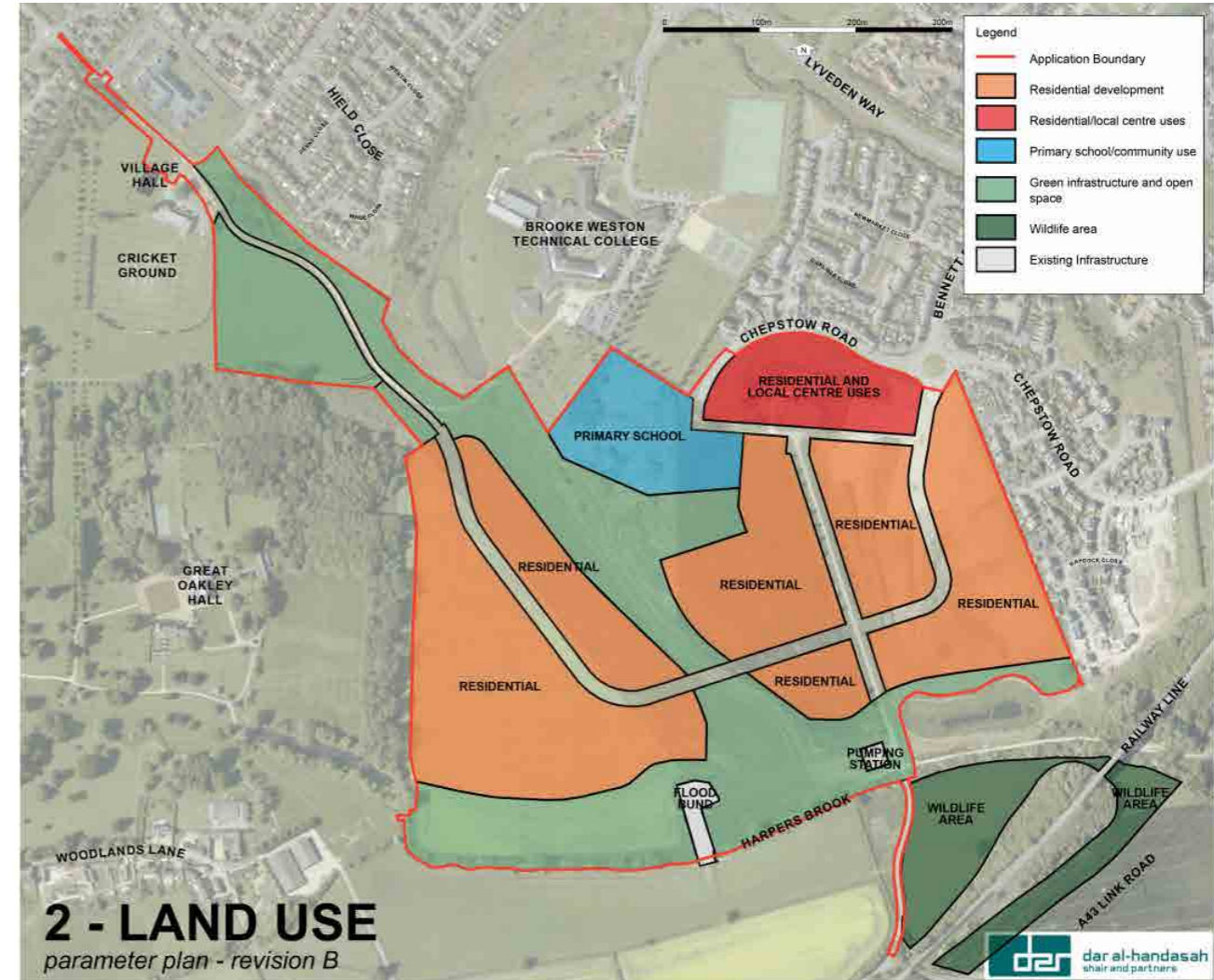
- a. Street Hierarchy.
- b. Character; uses; density; layout of blocks; public spaces.
- c. Block and design principles including primary frontages, access, fronts and backs.
- d. Design and management of parking including internal garage dimensions.
- e. Character and treatment of structural planting, any hedge and footpath corridors, retained trees/ woodlands and play areas.
- f. Details of public realm.
- g. Guidance of surface water control including SuDS.
- h. Waste strategy.
- i. Details on minimising opportunities for crime.
- j. Design Code review procedure/implementation.
- k. Key groupings including information on height, scale, form, level of enclosure, building materials and design features.
- l. Key areas of public realm.
- m. Spatial distances and private amenities space standards.

- n. Boundary treatments.
- o. Internal floor areas to meet National Space Standards.
- p. Minimum standards for all dwellings to be Category 2 of National Accessibility standards (A portion of Category 3 to be negotiated with local planning authority).

## Condition 04 - Approved Plans

Condition 4 of the Grant of Planning Permission stipulates that the development must be carried out in full compliance with the approved plans and specifications, including, among other documents, the following Parameter Plans:

- Parameter Plan 1: Movement Framework, Rev B (June 2016).
- Parameter Plan 2: Land Use Rev B (June 2016).
- Parameter Plan 3: Urban Design Principles.
- Parameter Plan 4: Green Infrastructure (Rev B) (June 2016).



Approved Parameter Plans.



## Amendments to Approved Documents

The location of the primary school was amended by S106 Deed of Variation dated 15 July 2024 to locate the school in close proximity to, and to form part of, the new local centre. The original location adjacent to the Brook Weston Academy was unsuitable for a school due to existing land gradients. Moreover, a new school would be run separately from the existing Academy and potentially by another party.

## Development Phases

Land for a Primary School and a Local Centre are surrounded by Phase 8, however they do not form part of this Design Code, so will be dealt with by separate Design Codes and subsequent Reserved Matters applications.

The Phasing Plan sets out sub-areas and phases for which separate Design Codes are required, prior to any phase taking place:

- **Oakley Vale - Phase 8**, which this Design Code relates to, is to the east, between Chepstow Road to the north and Harper's Brook to the south. Phase 8 includes up to 270 new homes, of which 15% will be affordable.
- **Oakley Vale - Phase 9** is to the west, adjacent to remainder of the Great Oakley Estate and between Brooke Weston Academy and Harper's Brook.
- Land for a **Primary School** and a **Local Centre** is surrounded by Phase 8, however they do not form part of this Design Code and will be dealt with separate Reserved Matters applications.



Phasing Plan.

# 1 Character Assessment Study

## Local Villages

A character assessment of the wider local context focused on identifying the defining townscape and landscape character elements of several local villages:

- Great Oakley.
- Cottingham and Middleton.
- Rockingham.

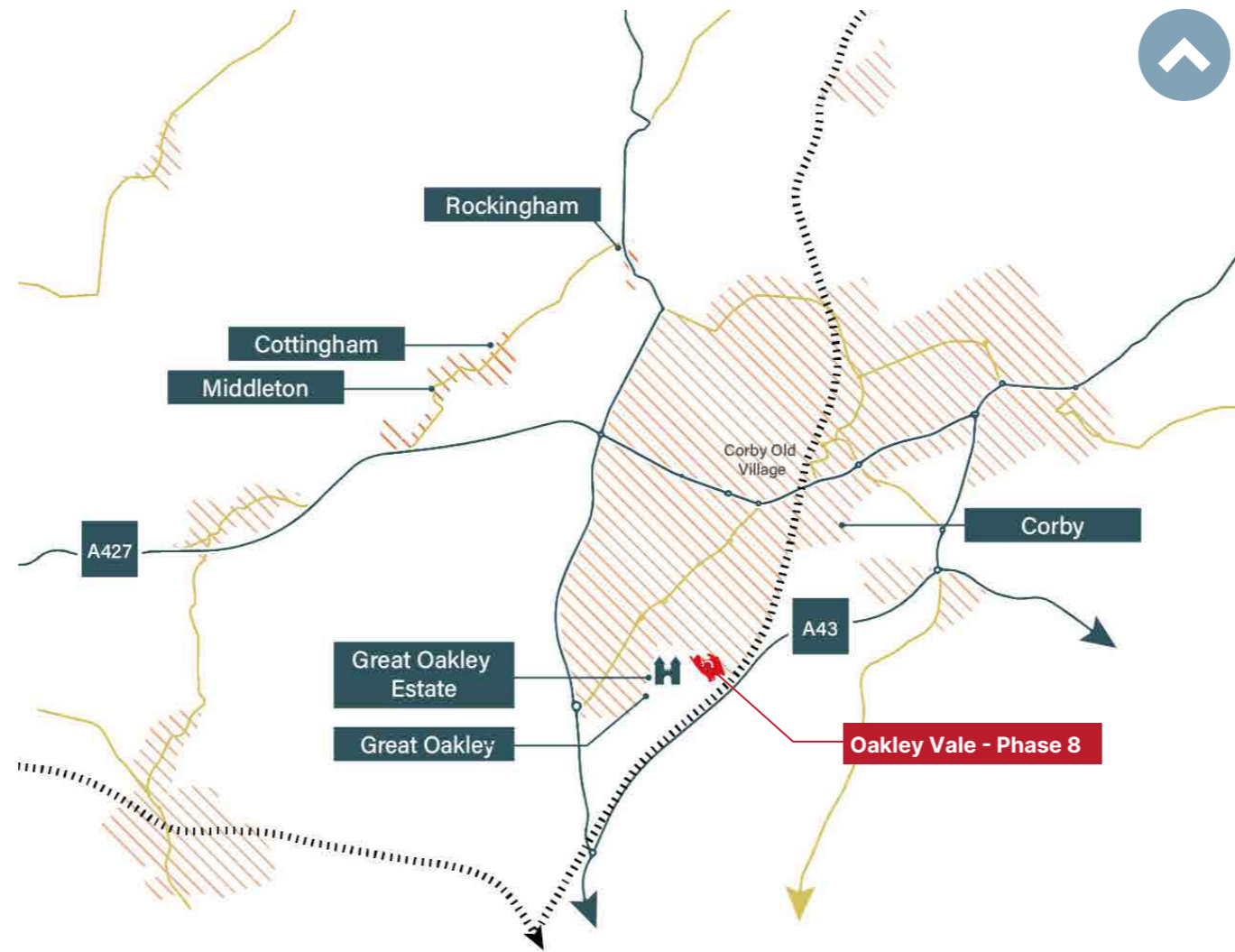
The findings were considered and used to shape the character of Oakley Vale - Phase 8.

## Introduction

As the new proposal is essentially an expansion of the existing residential area around the Great Oakley Estate and Estate Village, the principal reference for this proposal is Great Oakley itself.

However, when comparing the development quantum of the approved masterplan, the surrounding villages of Cottingham and Rockingham have also been studied as their size provides a good precedent, not so much for architectural detail, but for the defining principles of townscape, streetscape and landscape character of a more linear village. This is very much the nature of the masterplan that is submitted with this document – a principal linear street with a continuous building line, small pocket green spaces, key spaces, verges and landscaping all leading to a network of secondary lanes and mews streets.

The analysis of Great Oakley itself is more detailed, with specific reference to the building forms, materials and details such as doorcases & stone boundary walls, to inform the pattern book and materials for the houses themselves.

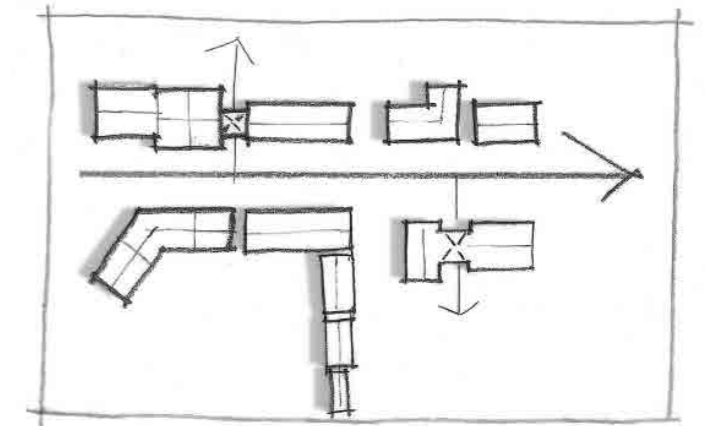


## Summary of Character Influences

### Building Typologies

Building typologies vary across the area and include:

- Terraced houses composed of the same or different typologies.
- L-shaped dwellings.
- Wide fronted houses.
- Some narrow-fronted houses with gables to the street.
- Barns converted as residential units or for parking.
- Dwellings plotted addressing corners.



Great Oakley.



Cottingham and Middleton.



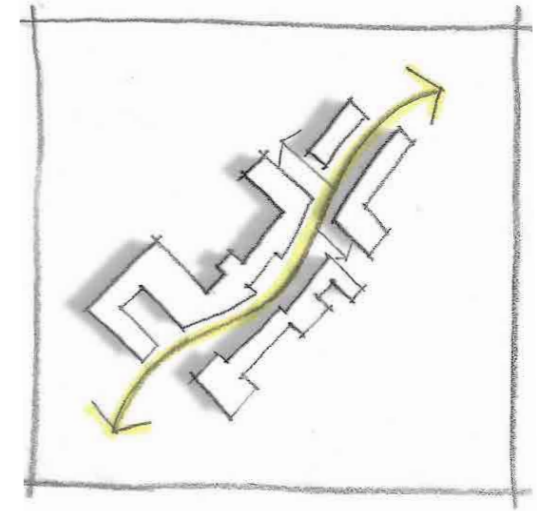
Rockingham.



Great Oakley Village and Home Farm Close.

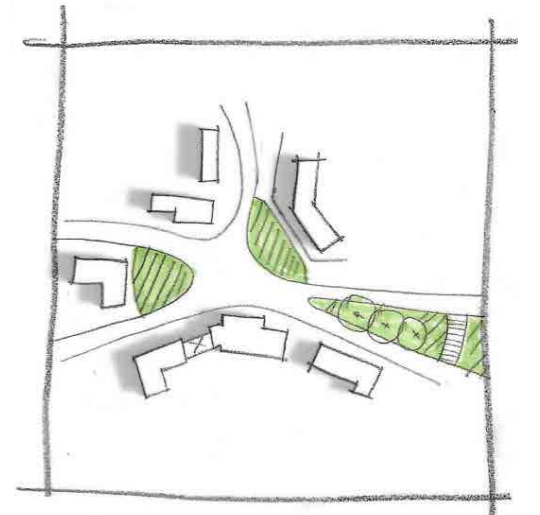
### Streets

- Main Streets are linear with a winding alignment. A strong sense of enclosure is created by their narrow width, the buildings positioned directly at the edge of the pavement and a consistent facade with variations in scale.
- Other Streets, in contrast to the main streets, these have wider gaps between buildings along the frontage, resulting in a less enclosed feel.



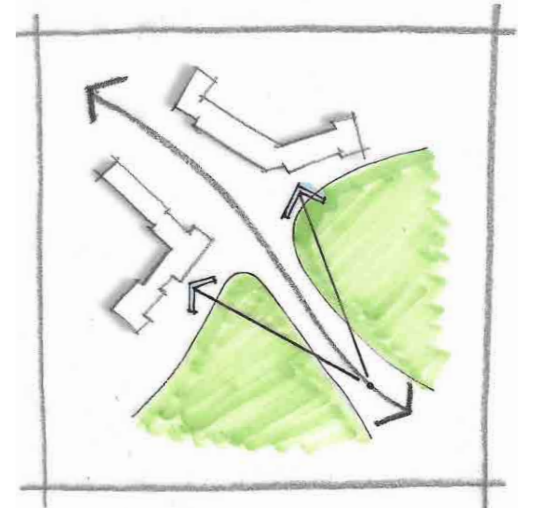
### Open Space/Small Greens

- Small open spaces and greens are strategically located at key junctions, often serving as visual focal points.
- These green spaces are also landscaped to create small green embankments, aiding level transition.
- Corner buildings play a significant role in defining the character of these areas, acting as prominent features.



### Marker Buildings

- Marker Buildings enclose open spaces and greens and are positioned and oriented to address key views. They are also found addressing street views, when streets change alignment and corners.



# 1 Great Oakley

## The Great Oakley Estate

The Great Oakley Estate has been under the ownership of the Brooke and de Capell Brooke family, in some form, since the late 1400s. The estate is comprised of the main manor house, St Michaels Parish Church and the barns, outbuildings and lodges of a working estate.

The existing manor house dates from the Tudor period. The church is perpendicular. Some of the outbuildings are possibly later re-builds.

The 19th and 20th centuries saw Great Oakley become part of Corby, with development during the 1980s enclosing the west, north and east edges of the estate. Development to the south is restricted by the main railway line and the A43 trunk road.

The walling materials are natural and dressed stone, with a classical portico and stone mullioned windows with metal framed casements. The roof is of stone (not Welsh) slates.

The Church and outbuildings are also of rubble stone with stone slate roofs.

The barn has sliding sash windows and an ornate ventilation lantern probably dating from the 18th century.





## Great Oakley Village (along Woodlands Lane) Pre 20th Century

Nearby is the Village of Great Oakley which comprises the estate offices, working barns and facilities buildings and the estate houses and cottages associated with the main house. They have distinctive mid-green painted front doors and dark red gutters, downpipes and bargeboards.

The form of the buildings reflects the status or position held within the estate by the original occupant, with a mix of terraced cottages and single double fronted detached houses.

The windows are all white framed casements and, in most cases, the doors have no canopies.



# 1 Great Oakley

## Great Oakley Village (along Woodlands Lane and Home Farm Close) 20th & 21st Centuries

The houses built in the last 50 years that are closest to the manor house have all been constructed to a scale, and in materials, that are sympathetic to the older village buildings described. In some cases (such as in Home Farm Close) the architectural detail has been augmented by high quality additions (such as cast stone porticos, reconstituted stone gable porches, corbel eaves, real chimneys and gable details) which are sympathetic to, and consistent with, the estate village look and draw on traditional details. Other properties, though simpler in form, are still built of a reconstituted stone or a brick that matches the colour of the reconstituted stone, so that the hue or tone is consistent with the original village. The roofs are in the main concrete tile in a dark grey/brown colour which is close to the hue of the older stone slate.



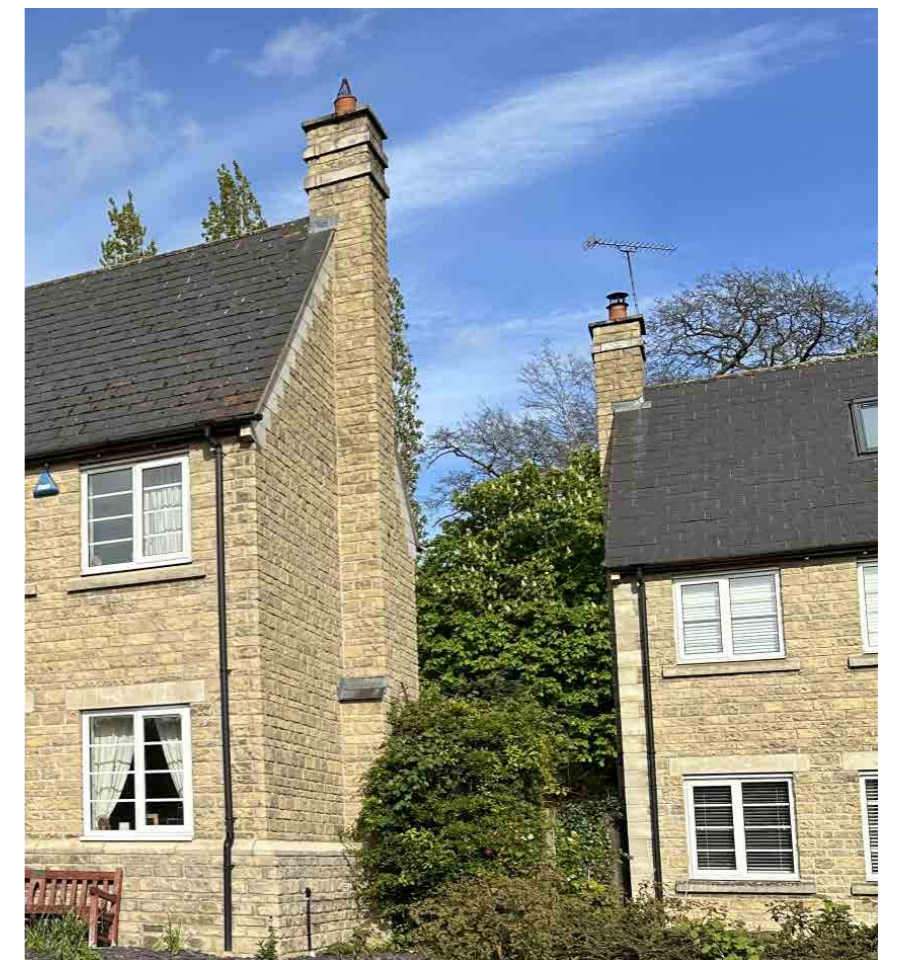


## Great Oakley Village – Details

These are of a simple and robust character and done in a manner that is long lasting.

Example details are:

- Cast stone portico.
- Stone gable roofed porch.
- Large window openings with stone lintels.
- Gable end 'built out' chimneys that run to the ground.
- Mid roof chimneys.
- Rubble stone boundary / garden walls with a slab capping.
- Rubble stone boundary / garden walls with a brick capping.
- Metal estate style railings.



# 1 Cottingham and Middleton

The villages of Cottingham and Middleton sit adjacent to each other, located in the foot of the Welland Valley and part of the medieval Rockingham Forest.

The villages can trace their history back to Roman times and the older parts of both villages, along the Main Street and High Street, sit within a conservation area.

Both villages developed radially, Cottingham from a key node/intersection of streets (Rockingham Road High Street, Church Street, Corby Road and School Lane), while Middleton from its linear centre along the Main Street.

## Pattern of development

### Streets

- Main Street, High Street and Church Street, are predominantly linear with gentle changes of alignment along the route, following a curved or winding path, branching out into smaller streets or internal parking courts.
- Main Street provides a strong level of enclosure with distances between buildings varying between 7 to 15 metres.
- Most buildings sit at the edge of the pavement, with no or limited, narrow front gardens. Their alignment follows the street without being completely parallel, as some buildings sit at a slight angle to the street creating a changing building line.

### Frontage & Roofline

- Frontages are varied with approximately two-thirds of the frontages along the main streets being continuous, and the rest including buildings that are set back from the edge of the street, or open spaces that create small or medium size gaps along the street.
- The topography and the difference in building heights creates an interesting and dynamic roofline. Buildings are predominantly 2 storeys with limited 1 and 3 storey buildings.



# Rockingham



Rockingham is a village situated north of Corby. Historical evidence suggests settlement in the area dates back to the Pre-Norman period. The village follows a linear layout, developing along the A6003 road (also known as Main Street) from its intersection with the B670 road.

Notable landmarks include Rockingham Castle, located south of the village, and Rockingham Forest, situated to the northeast. Population density in Rockingham is considered low and the village is small and compact.

## Pattern of development

### Streets

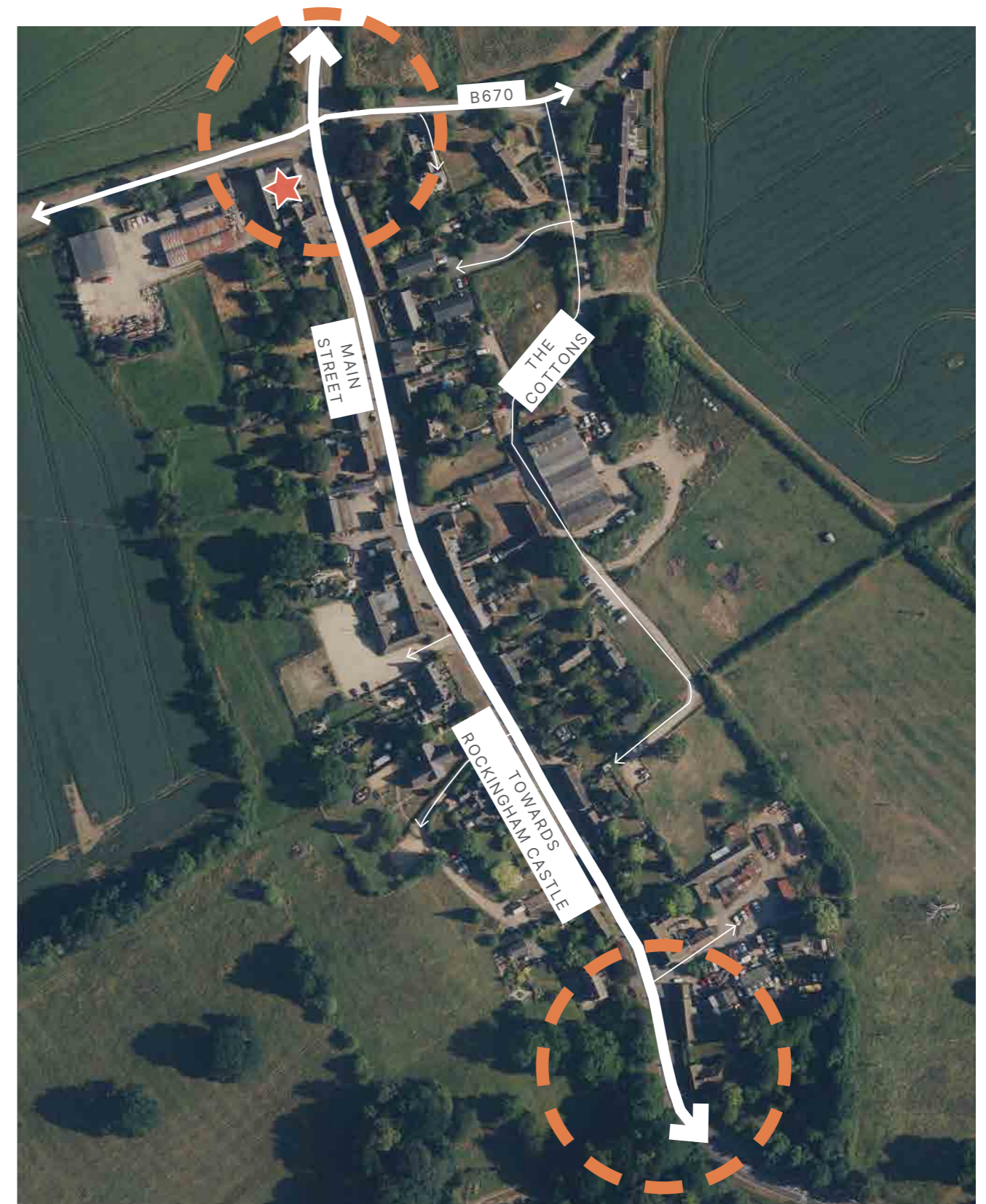
- The development closely follows a single main street which is slightly winding and runs along its length.
- Secondary streets branch off in parallel, providing convenient access to residences and discreetly integrating parking courts into the overall design.
- The buildings follow the alignment of the street sitting away from the street and separated by a pavement and verge.

### Frontage & Roofline

- Buildings along the street exhibit a primarily linear arrangement, forming cohesive clusters of long fronted units, with variable gaps between them.
- The roofline varies as the dwelling heights range from 1 to 2.5 stories and follow the natural topography of the site.



Clusters of long fronted units





# 2. Placemaking

## 2 Development Framework

This section sets the parameters of the development with regard to:

- Uses.
- Density.
- Heights.
- Character Areas, Key Spaces & Buildings.
- Green and Blue infrastructure.

### Illustrative Masterplan

The Illustrative Masterplan opposite illustrates how the parameters will be implemented, and is based upon a perimeter block structure that addresses key streets and spaces with active frontage.

The Masterplan is broadly compliant with the approved parameter plans, with the exception of the location of the primary school site as discussed earlier.

The extent of the local centre has also been rationalised following a more detailed review of the permitted uses, and the land required for these uses.

All other features such as the access points, general location of development, open spaces and main street alignment, remain consistent with the parameter plans approved at the time of the outline planning permission.

Some of the secondary road alignments, including the location of the phase 8 temporary bus loop, have changed following further consideration of site levels, and to reduce unnecessary through roads.

### Typical Blocks and Private Amenities

Spatial distances between buildings and private amenity space standards should be provided to prevent loss of privacy.

Development blocks will be designed to protect private amenities of existing and proposed dwellings.



Typical block design designed to maintain minimum back to back distances to prevent overlooking.



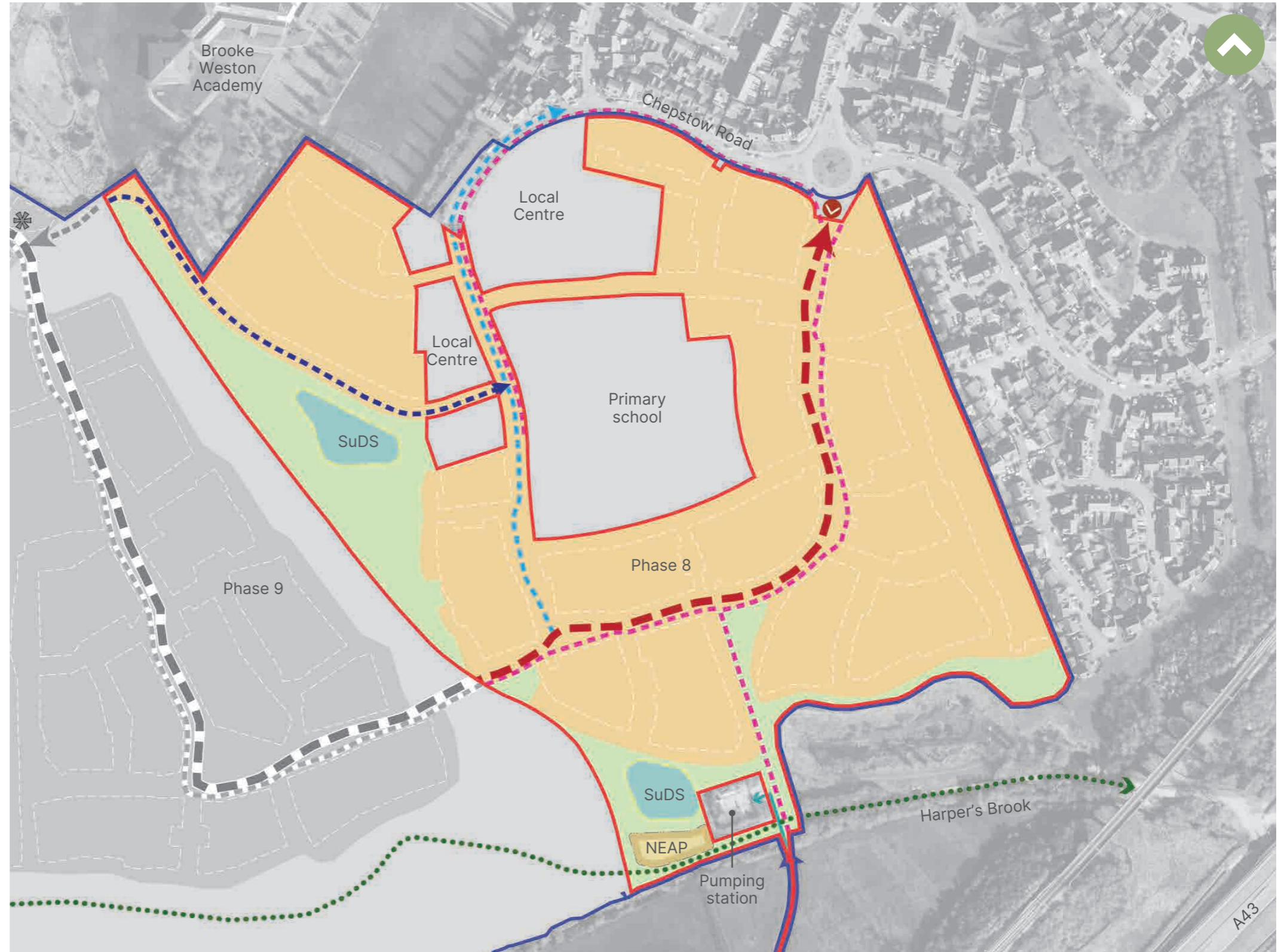
Proposed frontages will be backing onto existing properties and arranged to complete perimeter blocks and minimise overlooking.



Illustrative Masterplan.

# 2 Land Use

With the exception of the relocation of the primary school, the current masterplan is consistent with the approved Land Use parameter plan.



Land Use Plan.

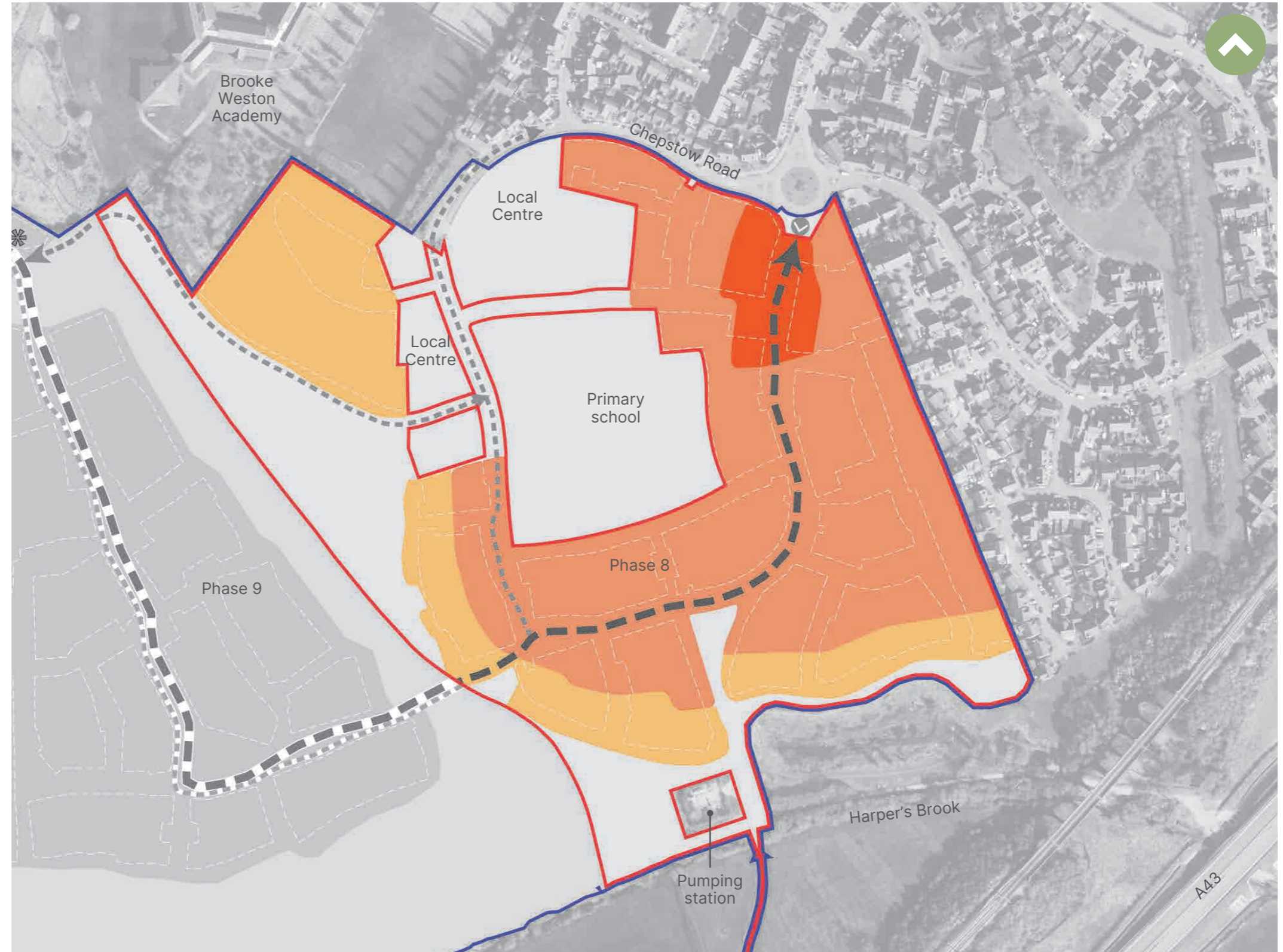
# Densities



The outline planning permission approves up to 530 new dwellings with circa 270 units for phase 8, in addition to 30 new dwellings within the local centre, and a further 230 new dwellings on phase 9.

The Illustrative Masterplan demonstrates how up to 270 new dwellings will be laid out within Phase 8 to provide a high quality development.

The density for phase 8 overall will be 21 dwellings per hectare gross and circa 27 dwellings per hectare net. Consistent with the approved urban design principles masterplan, densities will be higher in the middle of the scheme and around the local centre, and medium/lower density around the edges of Phase 8 which backs onto the existing development to the east, and facing the public open space to the east and south.



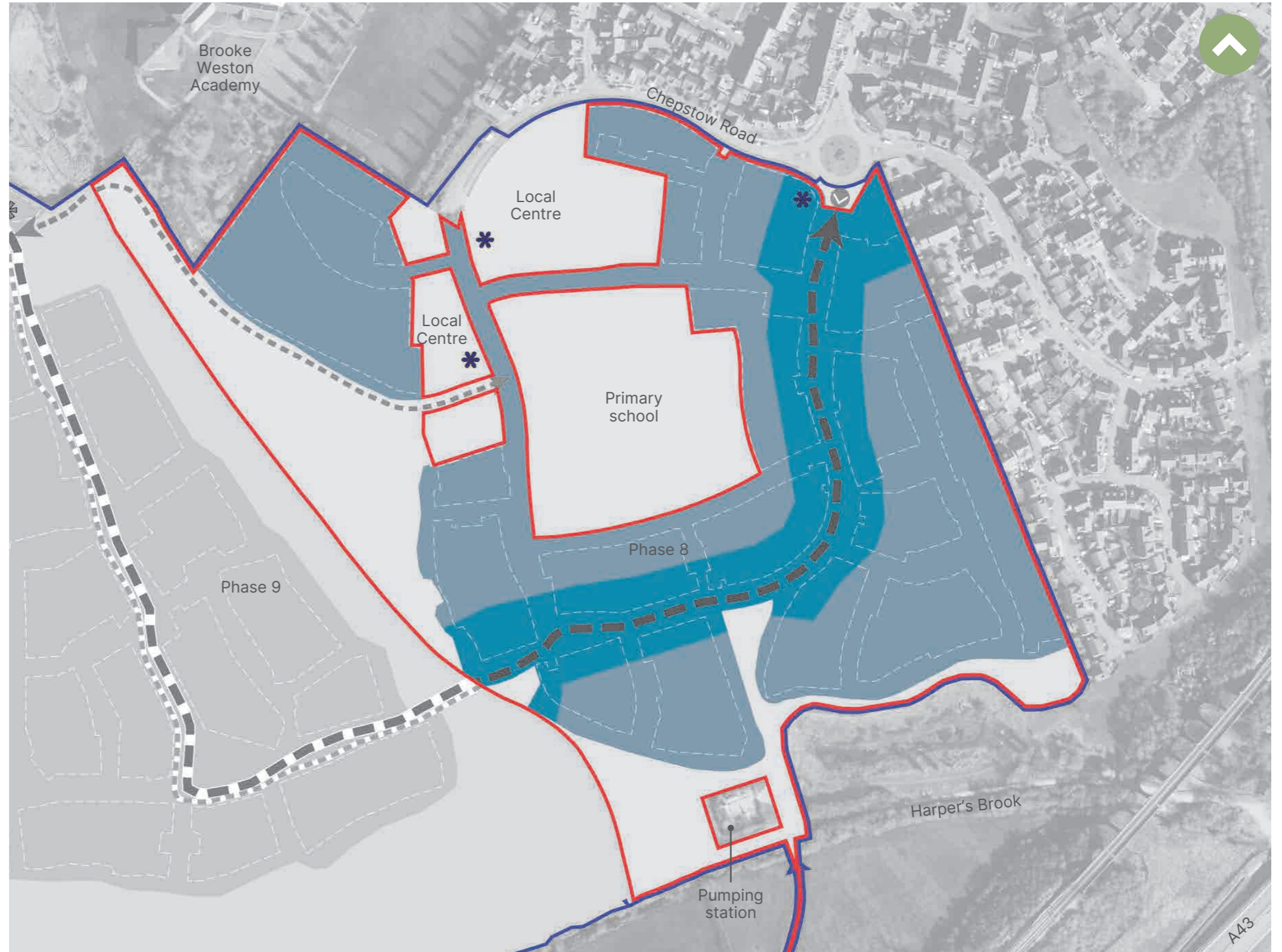
Density Plan.



# 2 Building Heights

Building heights within phase 8 will be generally 2 storey, with some 2.5 storey and 3 storey buildings provided at key nodes, around the local centre and along the main Primary Street.

Building heights on the edges of the phase 8 development will be mostly 2 storey with occasional 2.5 storey detached or semi-detached dwellings.



Building Heights Plan.

# Movement Framework



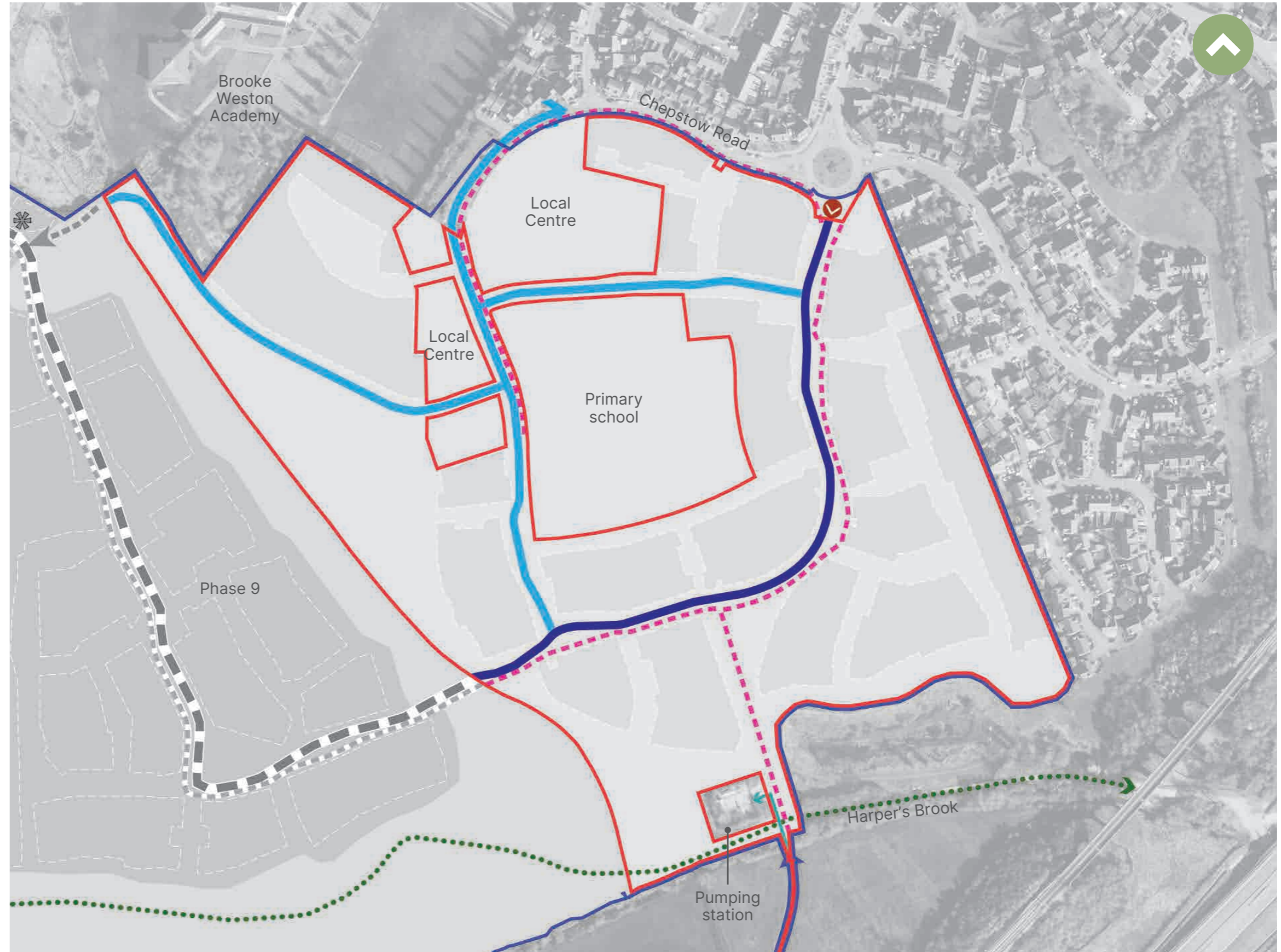
Key routes through Phase 8 have, broadly, been retained as per the approved Parameter Plan.

Whilst the Primary Street follows a very similar route to the approved Movement Framework other local streets have been re-routed to allow the re-location of the school and local centre.

Secondary streets connect the Primary Street to the local centre and school site.

A further link to Phase 9 in the north-western corner has been introduced.

Main footpath/cycleways have been retained along the Primary Street and towards the southern link to Mill Hill.



Movement Plan.

## 2 Regulating Plan

The Regulating Plan is the over-arching guidance plan for the Phase 8 development. It represents the culmination of the design parameters set out within the approved parameter plans, and this Oakley Vale - Phase 8 Design Code as a single and accessible point of reference.

This plan defines the key components of the Masterplan that need to be provided to create a distinctive townscape and a coherent character within the development.

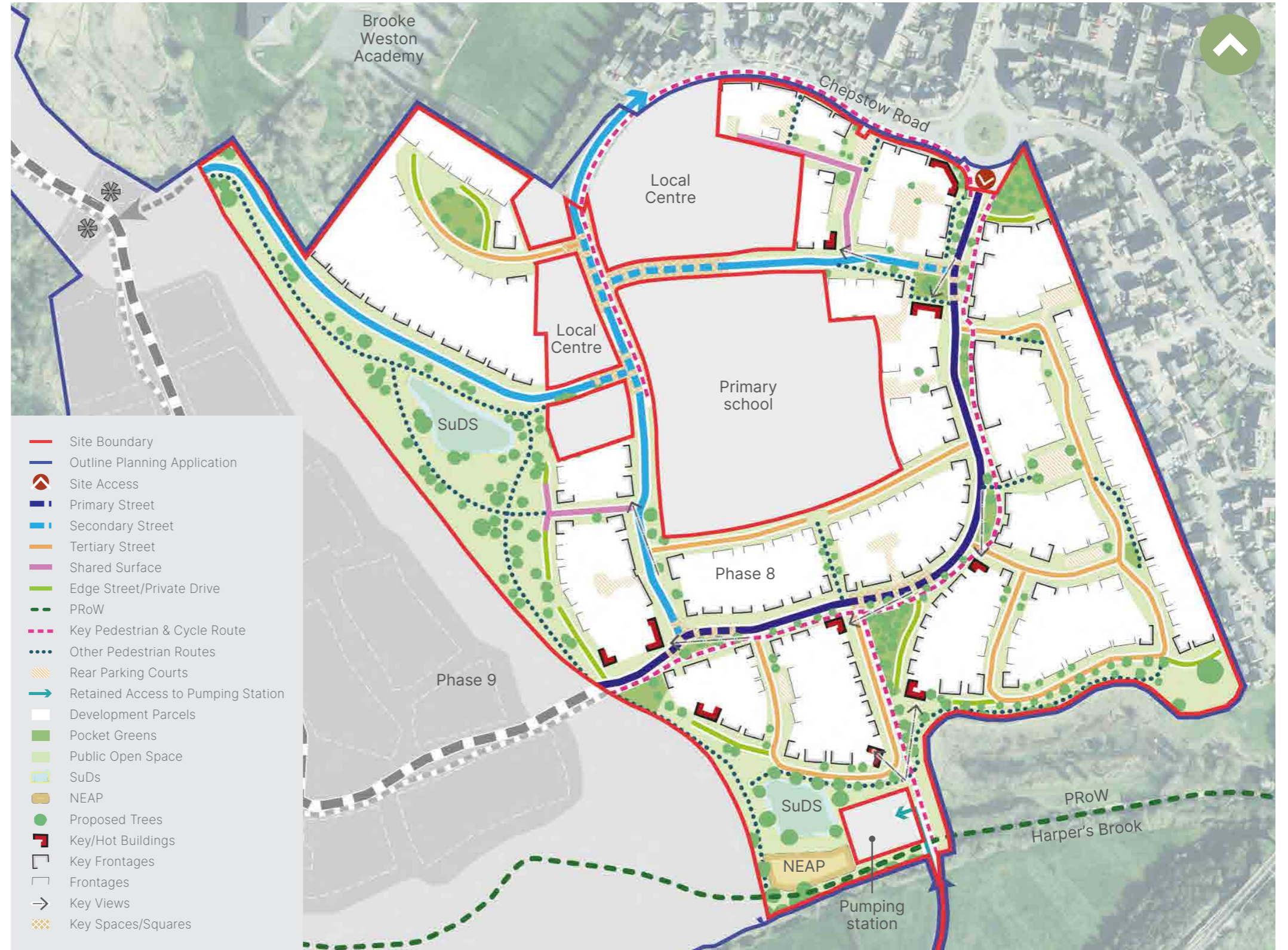
The framework proposes a perimeter block structure that incorporates incidental greens along key movement routes, which are defined by continuous frontages and landscape features similar to those found on local village streets.

Perimeter blocks are well defined and slightly irregular to convey a more "rural" feel.

Further guidance on how to execute the various elements of the Regulating Plan is provided in the subsequent sections of this document.

The Regulating Plan illustrates:

- Access Road.
- Development blocks.
- Key spaces and gateways.
- Prominent frontages enclosing key junctions and spaces.
- Marker/Hot buildings addressing key views.
- Streets and movement corridors.
- Key townscape views.
- Main attenuation features (i.e. main swales and infiltration basins).
- Open space and landscaping.



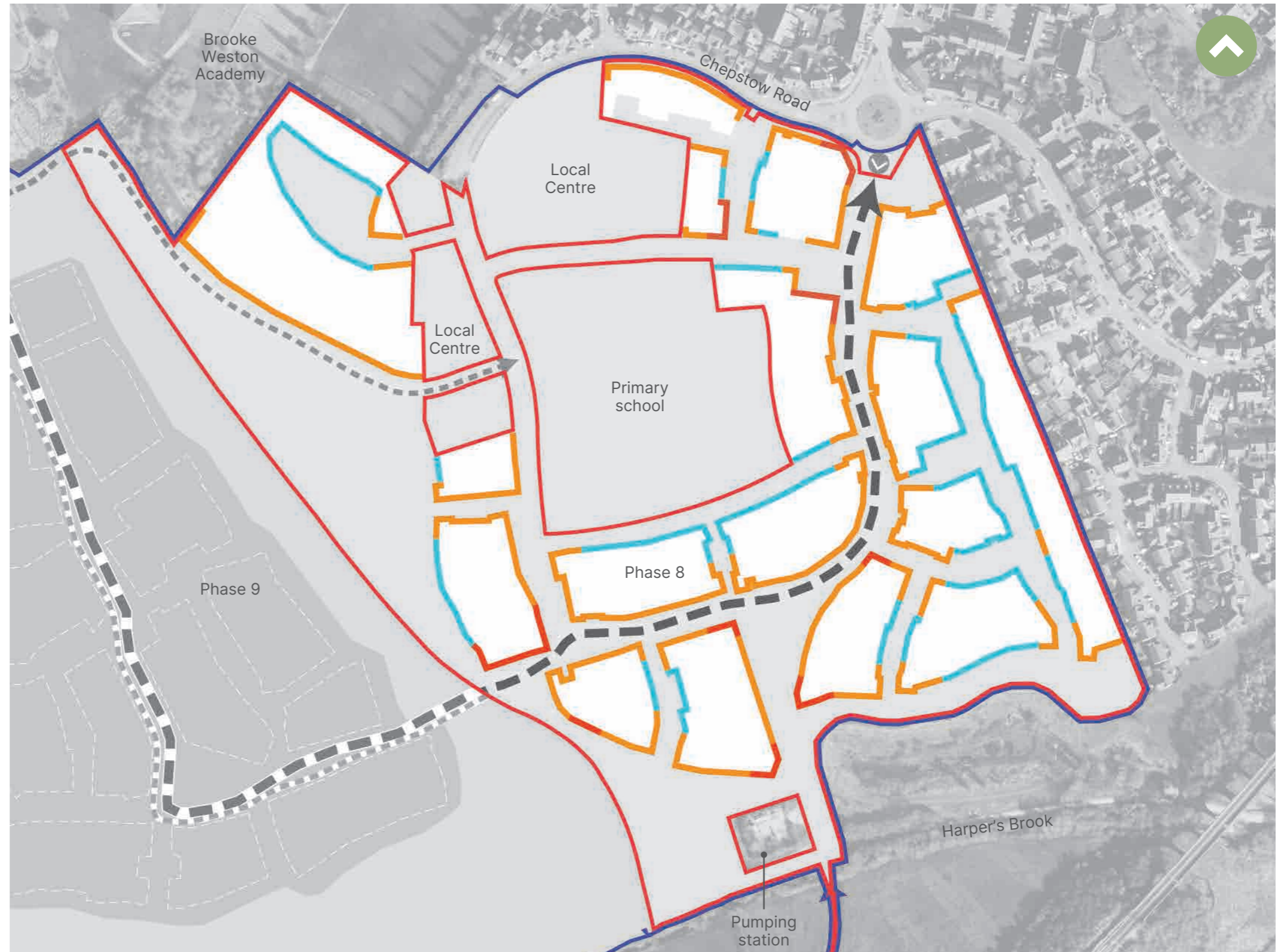
Regulating Plan.

# Temperature Control



A temperature control approach has been applied to establish a hierarchical level of design control.

This approach is directly linked to the Character Areas identified in the following section, with 'Hot' and 'Warm' temperature zones concentrated along key routes and around important spaces, where a higher level of design control is applied.



Temperature Control Plan showing Hot, Warm and Cool frontages.

# 2 Character Areas, Key Spaces & Key Buildings

## Character Areas

Character Areas have been designed to complement the Phase 8 location, shaping the eastern edge of Oakley Vale and defining Corby's southern boundary. These areas create a gradual transition from the urban feel of Chepstow Road to the more natural landscape of the proposed Oakley Vale Park, passing through the vicinity of the planned Local Centre and Primary Street.

The streets and public spaces are thoughtfully designed to reflect the character of traditional villages, incorporating a network of winding roads that reveal a series of engaging, sequential views along the way.

## Key Groupings / Spaces

Key spaces have been strategically identified to create a clear hierarchy within Phase 8, reinforcing the role of streets and establishing gateways between distinct character areas.

These spaces will improve legibility and enrich the streetscape by introducing focal points at key locations, offering visual interest and natural pauses. This approach enhances the overall experience of the neighbourhood, creating a more engaging and seamless transition between character areas.

### MANDATORY PRINCIPLES

The following sections will set out the Mandatory Principles for each Character Area and Key Spaces/groupings. These will be highlighted by coloured boxes.



CHARACTER AREA	KEY SPACES / GROUPINGS
LOCAL CENTRE INTERFACE & CHEPSTOW ROAD Urban character.	CHEPSTOW GREEN Gateway to Phase 8.
THE LOOP Primary Street and key spaces.	OAKLEY GRANGE GREEN Urban pocket park.
	HARPER'S BROOK GREEN Southern gateway.
	VALLEY GREEN Key junction and gateway to Oakley Vale Park.
INNER STREETS Inner streets / lanes.	KING'S WOODS GREEN Crescent green space.
OAKLEY VALE & HARPER'S BROOK EAST Outer edge and frontage to Oakley Vale Park.	N/A



King's Woods Green

Chepstow Green

Oakley Grange Green

Harper's Brook Green

Valley Green

- Phase 8
- Local Centre
- The Loop
- Inner Street
- Oakley Vale & Harper's Brook East Road

Character Areas Plan.

# 2 Local Centre Interface & Chepstow Road

## General Design Approach

### MANDATORY PRINCIPLES

**General Layout:**

- Avenue street character along Chepstow Road with continuous frontages providing a high level of enclosure to the street. Pockets of houses along back streets and small courtyard spaces to the rear. Mainly Hot and Warm buildings in this area with Cool buildings in rear streets.

**Building Set-backs:**

- Consistent building set-backs and narrow front gardens.

**Main Building Typologies:**

- Predominantly rows of terraced houses and distinctive apartment blocks along Chepstow Road. A mix of short terraces, detached and semi-detached houses to the rear.

**Building Heights:**

- Up to 3 storey.

**Density:**

- 30 to 40 DPH (Dwellings Per Hectare) with higher densities towards the proposed access off Chepstow Road.

**Roofscape:**

- Consistent eaves parallel to the street. General consistency of ridgelines.

**Parking:**

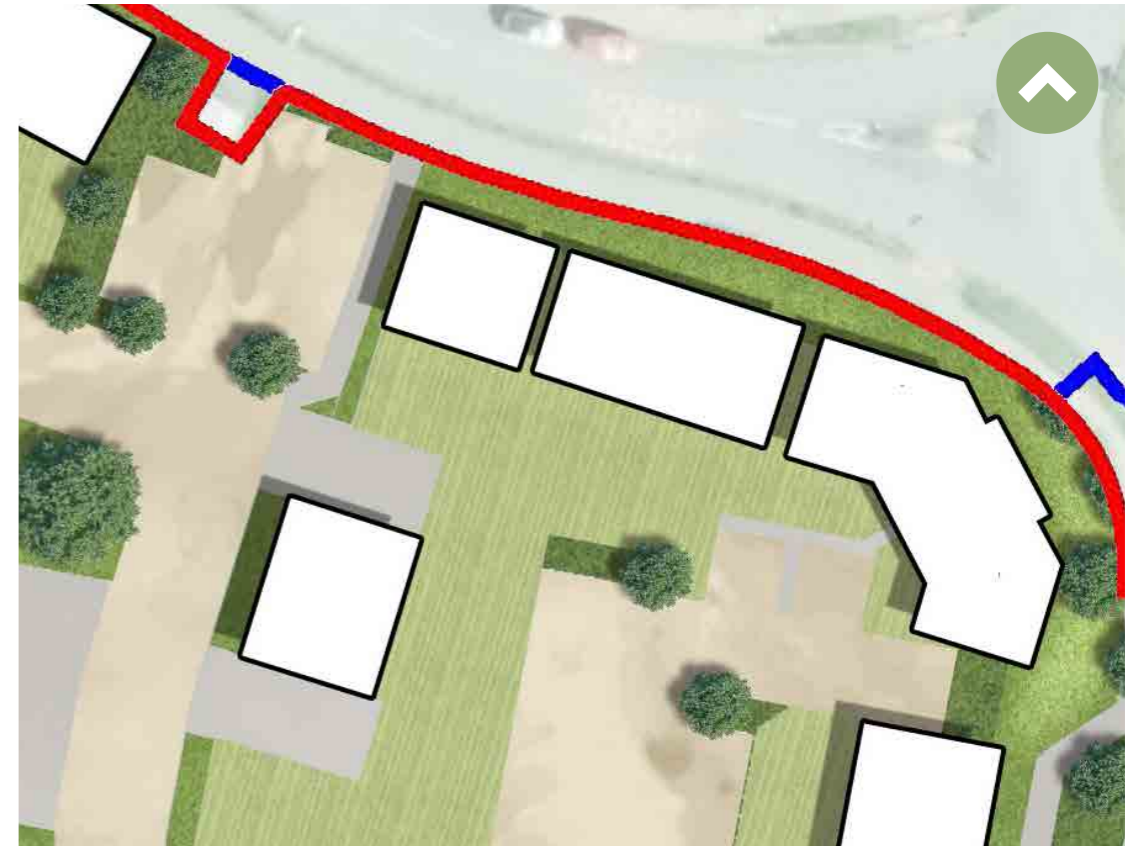
- No direct vehicular access onto Chepstow Road. Parking to the rear in small courtyards.

**Main Materials (For more details refer to Pattern Book):**

- Main materials for buildings will include reconstituted stone to highlight key corners/spaces and stock bricks.

**Key Spaces:**

- Chepstow Green.



Illustrative Masterplan extract.



Location plan.



Typical street elevation.



# Chepstow Green

## MANDATORY PRINCIPLES

1. Buildings to face the space and address key corners.
2. Fairly continuous frontages with consistent set backs and green verges, including regular tree planting, to create an urban feel along Chepstow Road.
3. A key note 3 storey apartment block (Hot building) to mark the corner with the existing roundabout.
4. A pocket of open space to create a gateway space into Phase 8.
5. A pedestrian crossing provided allowing movement across the roundabout towards Chepstow Green.



Location plan.



Axonometric view of key space.

## LANDSCAPE MANDATORY PRINCIPLES

1. Development Entrance: a mixed native hedgerow will be planted along the perimeter, complemented by reconstituted stone walling to mark the entrance and shrub planting to provide seasonal interest.
2. Tree-Lined Streets: tree lined streets with season bulb drifts and wildflower grasses, lined with timber posts along the road edge.
3. Village Green Gateway: a welcoming village green will serve as a gateway, featuring wildflower grassland for a naturalistic landscape approach. The boundary will include native hedgerow, shrubs, and tree planting, scalloped to form small pocket spaces ideal for picnic tables. Houses orientated to front onto the gateway village green providing natural surveillance
4. 3m wide footway/cycleway.



Native hedgerow.



Reconstituted low stone walls.



Tree lined streets.



Landscape illustrative plan.



Wildflower grassland and mown paths.

# 2 The Loop

## General Design Approach

### MANDATORY PRINCIPLES

#### General Layout:

- An informal and curving main route with changes in building alignments and fairly continuous frontages to define a good level of enclosure to the street. No Cool buildings in this area.

#### Building Set-backs:

- Variable set-backs to strengthen the informality of the street. This, combined with the use of focal spaces and buildings, will help controlling traffic speed.

#### Main Building Typologies:

- A mix of short rows of terraced houses/linked forms and a limited number of semi-detached and detached houses.

#### Building Heights:

- Generally 2 storey, with some 2.5 storey buildings provided at key nodes and groupings.

#### Density:

- 30 to 40 DPH with higher densities towards existing residential areas to the north.

#### Roofscape:

- Main eaves parallel to the street, interspersed with gable forms in key locations. Linking elements such as lower scale buildings and drive through garages with accommodation above, providing interest and change in height along the roofline.

#### Parking:

- Mainly on plot, with a limited number of parking courts and covered drive-through between plots to achieve more continuous frontage along the Loop.

#### Main Materials (For more details refer to Pattern Book):

- The main building materials will include reconstituted stone and render and limited painted brick, used in alternating patterns to create cohesive groupings and establish a unifying character throughout the Loop. Stock brick will be used sparingly providing variation without becoming the dominant material.

#### Key Spaces:

- Oakley Grange Green; Harper's Brook Green; Valley Green.



Illustrative Masterplan extract.



Location plan.



Typical street elevation.



# Oakley Grange Green

## MANDATORY PRINCIPLES

1. Buildings to face the space and address key corners.
2. Frontages to provide a high level of enclosure and define a rectangular shaped space with an urban feel.
3. A small pocket of green space on the western side of the Loop at the junction leading to the Local Centre.
4. At least one side of the green to be without a road.
5. A Hot cluster of houses linked to form a short row and provide a positive frontage when approaching from Chepstow Green.
6. Change in road surface to mark the space, and raised table to help create a pedestrian friendly environment.



Location plan.



Axonometric view of key space.

## LANDSCAPE MANDATORY PRINCIPLES

1. Tree lined streets: footway pulled away from the road to accommodate large verges with street trees and timber bollards along the road edge.
2. Rear parking courts: in a block surface treatment to provide hierarchy to the streetscape.
3. Streetscape: houses orientated to front onto the Primary Street providing natural surveillance, private curtilage defined with shrub and hedge planting.
4. 3m wide footway/cycleway.



Illustrative landscape plan.



Timber bollards.



Tree lined street.

# 2 The Loop

## Harper's Brook Green

### MANDATORY PRINCIPLES

1. Buildings to face the space and address key corners.
2. Frontages are aligned to define a clear boundary to the space, while maintaining a natural shape and character.
3. A centrally located green space narrowing down towards Oakley Vale Park and Harper's Brook to the south, creating a strong focal point within the layout.
4. Retain a direct green connection towards the park with no road crossing through.
5. Hot buildings at main entrances to the space.
6. Change in road surface to mark the space and raised table to help creating a pedestrian friendly environment.



Location plan.



Axonometric view of key space.

### LANDSCAPE MANDATORY PRINCIPLES

1. Perimeter Tree Planting: the green will offer opportunities for larger-scale tree planting around the perimeter, complemented by timber posts to reinforce a rural village aesthetic.
2. Community orchard under planted with wildflower grasses.
3. Active Frontages: homes will be oriented to face the pocket green, promoting natural surveillance and fostering a strong sense of place.
4. Roadside Landscape Treatment: a grass verge with street trees will line the roadside, while footways will be set back from the carriageway to create a more pedestrian-friendly, green streetscape.
5. 3m wide footway/cycleway.



Bulb drift.

Orchard.



Feature tree bench.



Timber posts to edge of green space.



Houses fronting pocket park.



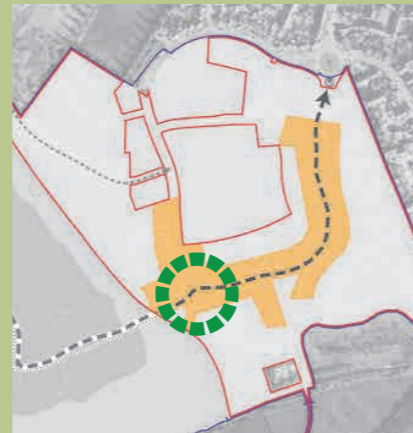
Illustrative landscape plan.



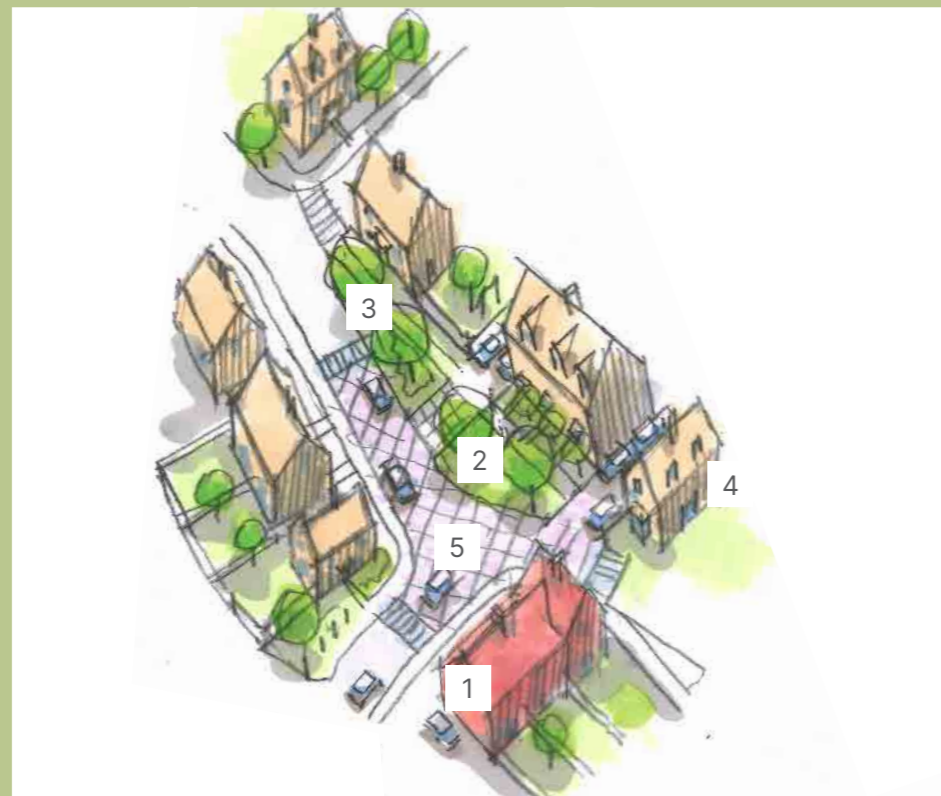
# Valley Green

## MANDATORY PRINCIPLES

1. Buildings to face the space and address key corners.
2. Frontages set back to form an incidental space to mark the junction and provide a gateway towards the park.
3. A linear green space with planting to one side of the road.
4. A small cluster of Hot units to create a visual focus when travelling along the Loop.
5. Change in road surface to mark the space and raised table to help create a pedestrian friendly environment.



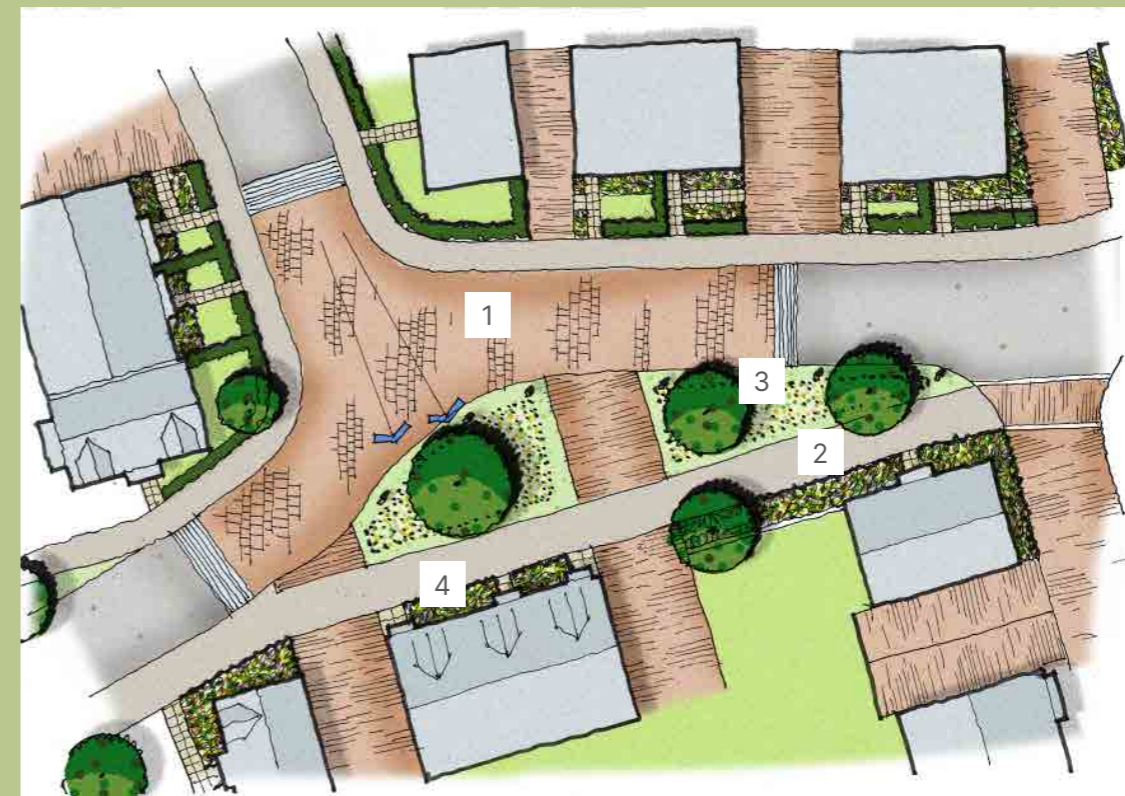
Location plan.



Axonometric view of key space.

## LANDSCAPE

1. Raised table with block paving, using a change in surface material to create a distinctive nodal point within the streetscape
2. 3m wide shared footway and cycleway designed to support safe and accessible movement for pedestrians and cyclists
3. Generous verge with tree planting, framed by timber posts along the road edge. A feature tree is strategically positioned to further enhance the nodal point within the streetscape
4. Hedging along front garden boundaries to clearly define the transition between public and private spaces.



## 2 Inner Streets

### General Design Approach

#### MANDATORY PRINCIPLES

##### General Layout:

- Streets will follow a regular/formal layout, with more consistent building alignments. Primarily Cool buildings in these areas with some Warm units to mark key junctions / spaces providing a good level of enclosure.

##### Building Set-backs:

- Whilst buildings will be generally aligned, set-backs will vary to provide deeper front gardens and some green verges to green up the streets in key locations.

##### Main Building Typologies:

- Primarily detached and semi-detached houses. Mainly detached houses in western areas. A few short terraced houses grouped around courtyards with parking.

##### Building Heights:

- Mainly 2 storey in height with some 2.5 storey buildings at key locations.

##### Density:

- Between 20 and 35 DPH. Higher densities to the east.

##### Roofscape:

- Main eaves parallel to the street, with a mix of hipped and pitched roofs following articulation of buildings.

##### Parking:

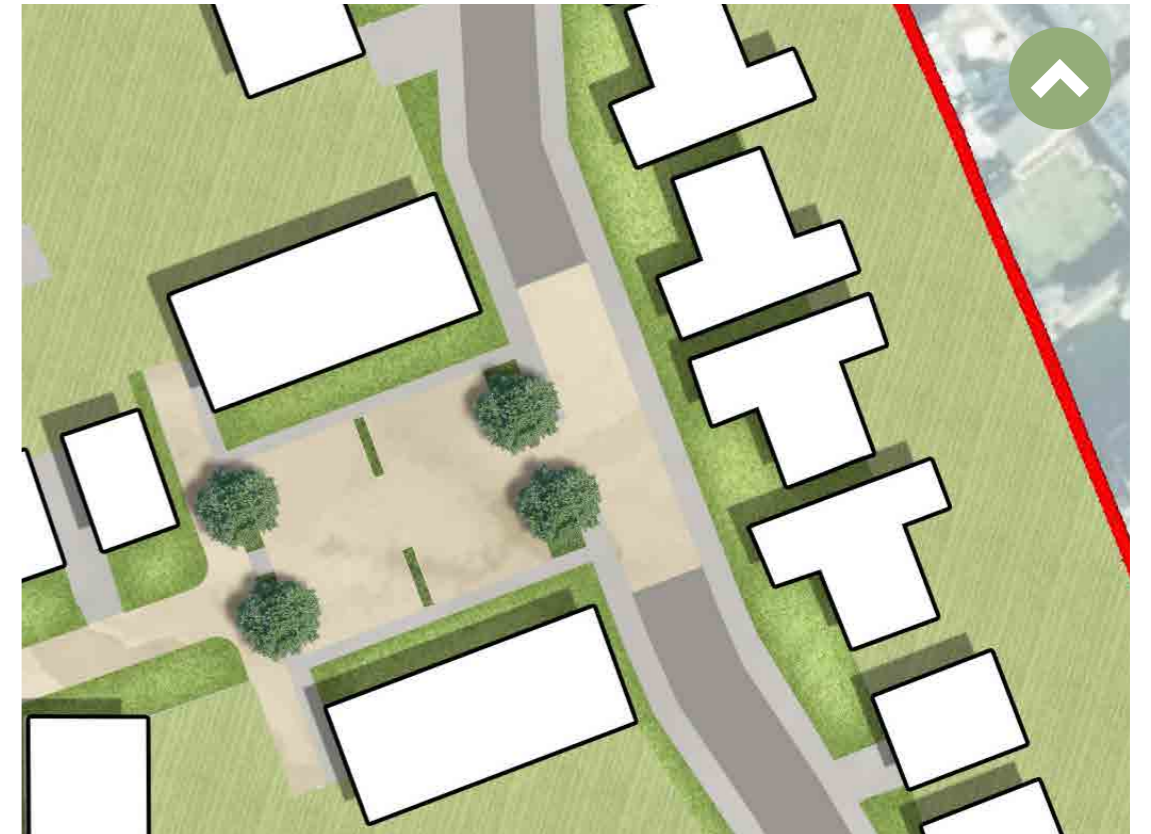
- Parking will be a combination of on-plot spaces and some front parking arranged in small landscaped courts.

##### Main Materials (For more details refer to Pattern Book):

- Stock brick will be the primary material, providing a unifying element and distinguishing these inner/local areas from the more public-facing streets. Use of render in some areas to highlight corners or selected groupings.

##### Key Spaces:

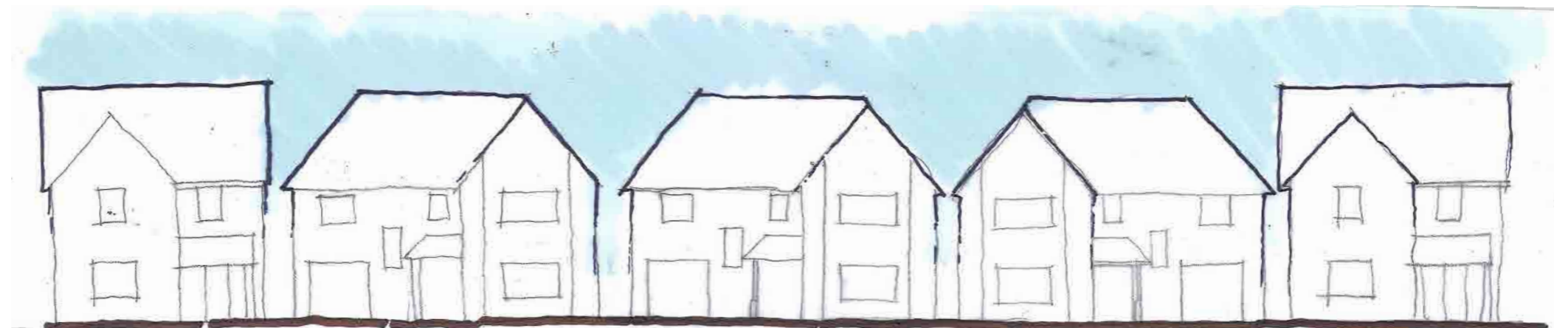
- King's Woods Green.



Illustrative Masterplan extract.



Location plan.



Typical street elevation.



# King's Woods Green

## MANDATORY PRINCIPLES

1. Buildings to face the space and address key corners.
2. Frontages will be arranged to form a central oval shaped green space planted with trees.
3. Layout to emphasise the unity of the space, rather than focussing on individual buildings.
4. Mainly detached houses with regular spacing in between.
5. Use of low shrubs planting to emphasise the natural character of the green space.



Location plan.



Axonometric view of key space.

## LANDSCAPE MANDATORY PRINCIPLES

1. Pocket Green Design: positioned within the residential streets, King's Woods Green will feature swathes of wildflower grassland and seasonal bulb drifts, delivering year-round visual interest. Timber posts and perimeter tree planting will reinforce a traditional village green character.
2. Feature Tree Seat: the green will include the opportunity for a distinctive seating feature around a specimen tree, providing a focal point and informal gathering space.
3. Street Hierarchy and Materials: block paving will define the roadway adjacent to the Green, marking a shift in street hierarchy and enhancing the public realm.
4. Homes will be arranged to front onto the Green, creating an active frontage and promoting a sense of community around this space.



Illustrative landscape plan.



Timber bench.



Tree seat.



Seasonal planting.

## 2 Oakley Vale & Harper's Brook East

### General Design Approach

#### MANDATORY PRINCIPLES

##### General Layout:

- Informal arrangement of buildings with no consistent building line and gaps between buildings.

##### Building Set-backs:

- Variable set-back.

##### Main Building Typologies:

- Mainly detached houses and a few semi-detached houses.

##### Building Heights:

- Mainly 2 storey with 2.5 storey buildings in key locations.

##### Density:

- Low density areas between 20 and 30 DPH.

##### Roofscape:

- A mix of hipped and pitched roofs is used, articulated to reflect the form and variation of the houses.

##### Parking:

- On-plot/garages.

##### Main Materials (For more details refer to Pattern Book):

- A wider palette of materials used including stock bricks, render and reconstituted stone with the latter to highlight key buildings. Larger use of reconstituted stone along the north-western edge of the parkland.

##### Key Spaces:

- This character area defines the edge of the Oakley Vale Park, which is further illustrated within the following chapter on Green & Blue Infrastructure.



Illustrative Masterplan extract.



Location plan.



Typical street elevation.



## Oakley Vale & Harper's Brook East

### MANDATORY PRINCIPLES

1. Pocket Green: planted as a community Orchard, refer to Harper's Brook Green.
2. Street trees are planted along the grass verge providing separation between the 3m wide footway/ cycleway and road.
3. Shrub and tree planting forms a natural buffer to the adjacent road, with footway links.
4. A circular walking route winds through the space, offering seating and views over the existing basin. The surrounding landscape is enriched with wildflower grasses, tree planting, and timber posts that define the perimeter of the open space.
5. 3m wide footway/cycleway linking to a PRoW to the south.



Location plan.



Illustrative landscape plan.

# 2 Green & Blue Infrastructure

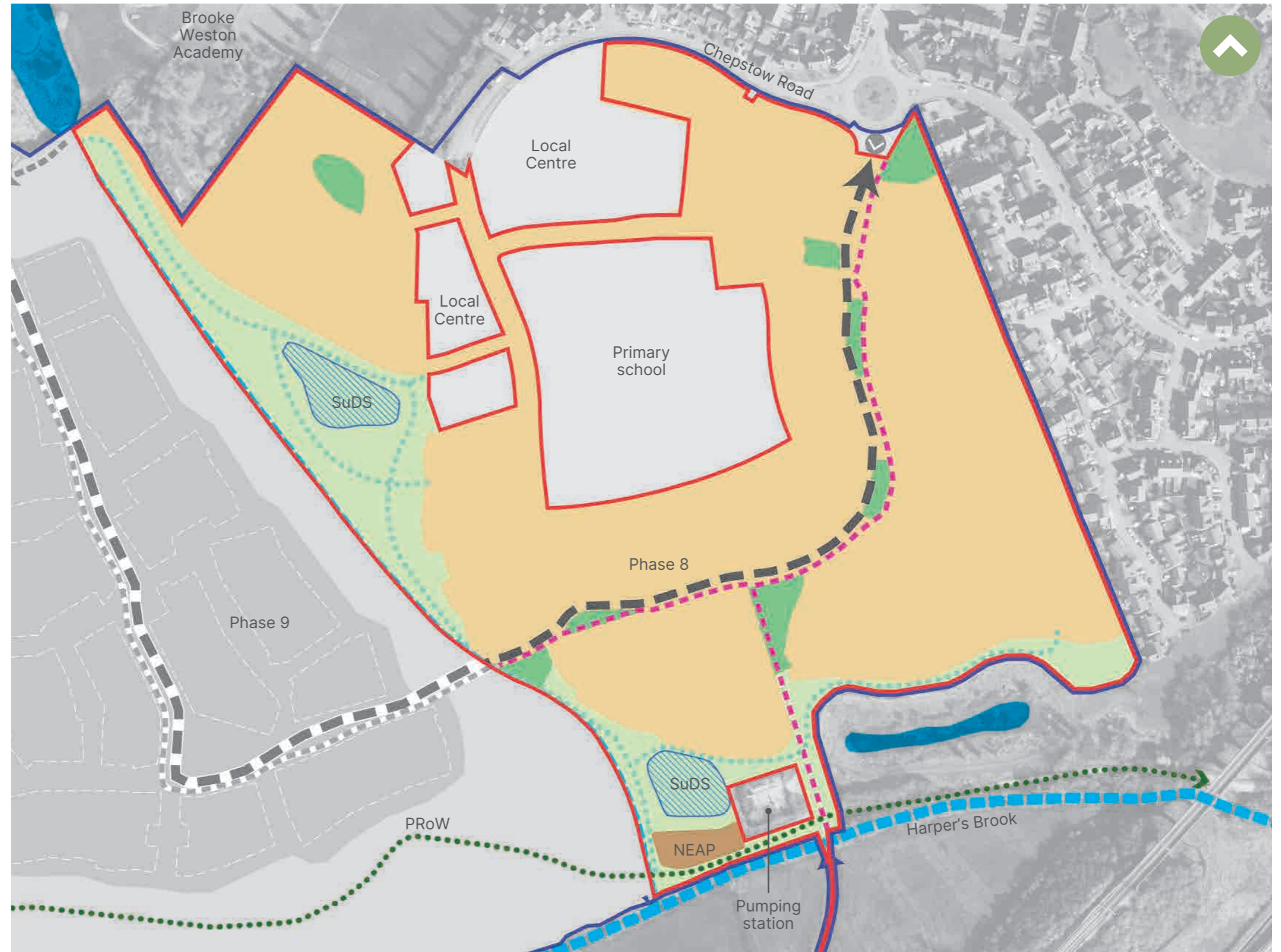
## Introduction

The proposed Green Infrastructure is broadly based on the approved Parameter Plans, with Oakley Vale Park forming a linear open space running along the western and southern edges of Phase 8.

The park will include: SuDS features, a Neighbourhood Equipped Play Area (NEAP) and public open spaces with planting and recreational routes.

Some changes were necessary as a consequence of moving the Primary School and Local Centre and include:

- Re-location of the NEAP in the southern corner of Phase 8.
- Changes to the SuDS basins which have been split into two basins: one to the west and one to the south.



Green & Blue Infrastructure Plan.





## Re-located NEAP and SuDS Basin

### MANDATORY PRINCIPLES

1. Neighbourhood Equipped Area for Play (NEAP): a large play area (approximately 1,000 sqm) designed to accommodate a variety of play equipment suitable for all age groups and abilities, set a minimum of 30m away from nearby dwellings.
2. Dedicated zones for both older and younger children, each equipped with age-appropriate play structures.
3. Informal kickabout area situated over existing easements.
4. A landscaped attenuation basin featuring native aquatic plants and tree planting along its margins.
5. A 3m-wide shared footway/cycleway providing a direct link to a Public Right of Way (PRoW) to the south.
6. A pumping station screened by retained existing vegetation around its perimeter.
7. Residential units are positioned to face the open space, with a defined edge created by timber posts and new tree planting.



Illustrative landscape plan.

## Healthy Communities

The Public Realm can promote physical and mental health, and general well-being. Emphasis should be placed on 'healthy' streets by incorporating these features in the landscape design:

- Footpaths with clear level walking space of at least 2m wide.
- Standing space to stand and dwell at regular intervals.
- Walking routes clear of trip hazards.
- Appropriate width and surface treatment for cycleways.
- Regular level crossing points.
- Appropriate lighting to streets.
- Mix of shade and sun light.
- Regular intervals of seating.
- Soft landscaping and drainage to be included into streets.
- Buildings orientated to overlook streets.



# 2 Soft Landscaping Strategy

## Landscape and Planting Strategy

### Trees and Streets

Great Oakley Design Code outlines plans to establish new strategic tree planting, especially in public open spaces. The Design Code adds more detail, specifying appropriate tree locations, species, and specifications for key spaces and streets. The Phase 8 layout includes Primary Street, Secondary Streets, Tertiary Streets, Shared Surfaces and Edge Streets/Private Drives.

### Tree Species: Right Plant, Right Place

The Site Wide Design Code emphasises the importance of selecting the right tree species based on location, function, and environmental factors to enhance habitat, air quality, shading, cooling, and the aesthetic value of the area. Tree species will vary according to street type and function, with more flexibility in open areas and for feature trees to introduce diversity.

Trees are chosen based on local character, climate, species traits, size, and site conditions. Biosecurity measures must be followed to prevent pests and diseases. In confined spaces, trees with suitable root structures, narrow crowns, and low water demand will be prioritised, while in more open areas, species with wider crowns may be selected.

### Avoidance Of Conflicts

Guidelines for tree placement should avoid conflicts with infrastructure, easements, service runs, highway standards and lighting in accordance with local authority requirements. Private trees must be kept at least 2.5 meters from the highway boundary and that highway trees require at least a 2 metre verge and must avoid obstructing visibility.

#### The Phase 8 layout and any new planting must take into consideration the following constraints:

- Environmental easements
- Service easements i.e. the existing water easement to the east of the site
- Environmental Protection Zones to existing ditches and watercourses
- High voltage cables to the pylons and their easements to the north of the site

### Tree Pits and Surface Finishes

As part of the Reserved Matters Application for Phase 8, tree pit details in both hard and soft landscaping need to be submitted and should show pit sizes compliant with this Design Code as per details on the following page.

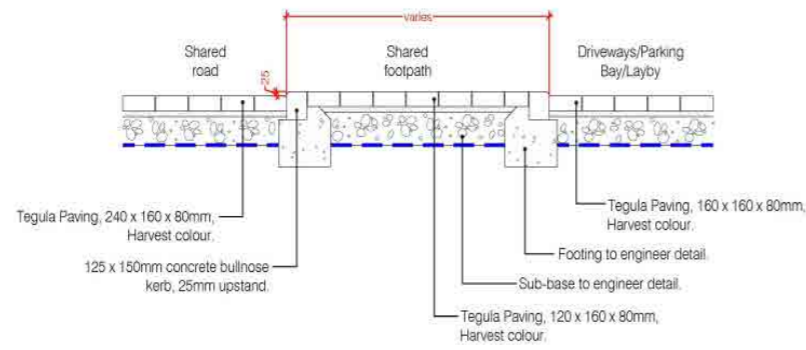
### Trees, Native Mixes & Hedgerows

The Site Wide Design Code specified lists for 'Street Trees' and 'Feature Trees' which included suitable native and non-native tree species tailored to the site's environment. This approach allows for adaptability to climate resilience innovations and best practices, while also reducing biosecurity risks. The Phase 8 Design Code expands on these categories based on location. These are overarching lists of selected trees, and it is not exhaustive with more tree species to be included during the Reserved Matters application to ensure the right tree will be in the right location with the optimum soil volume.

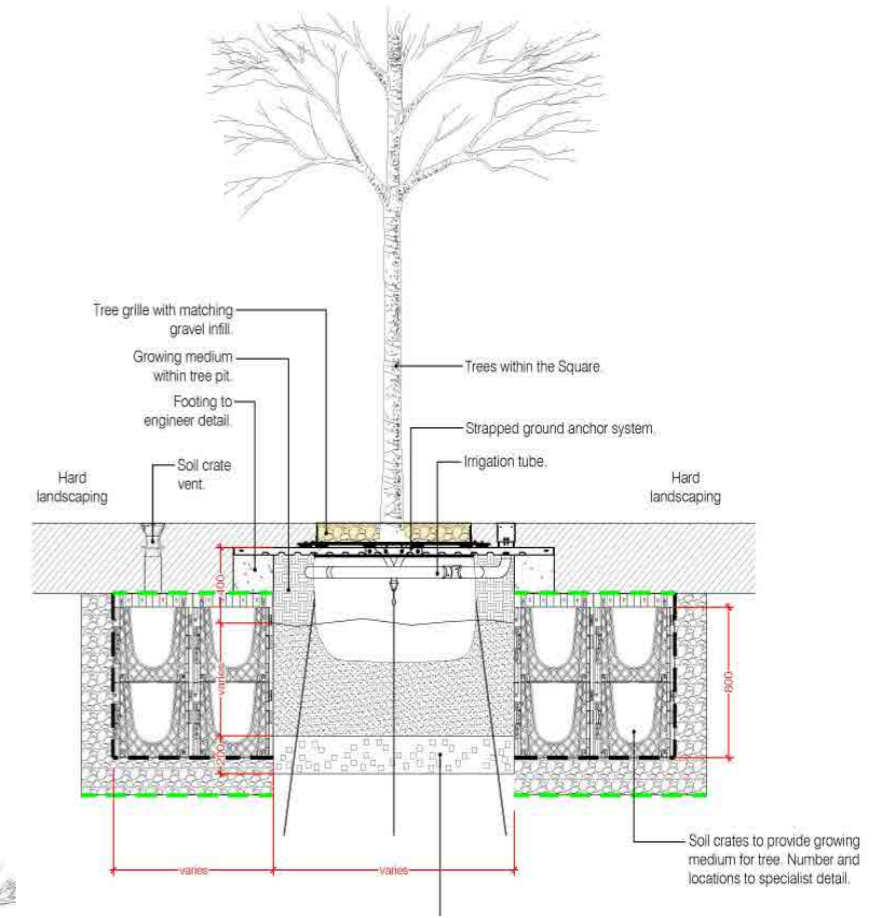




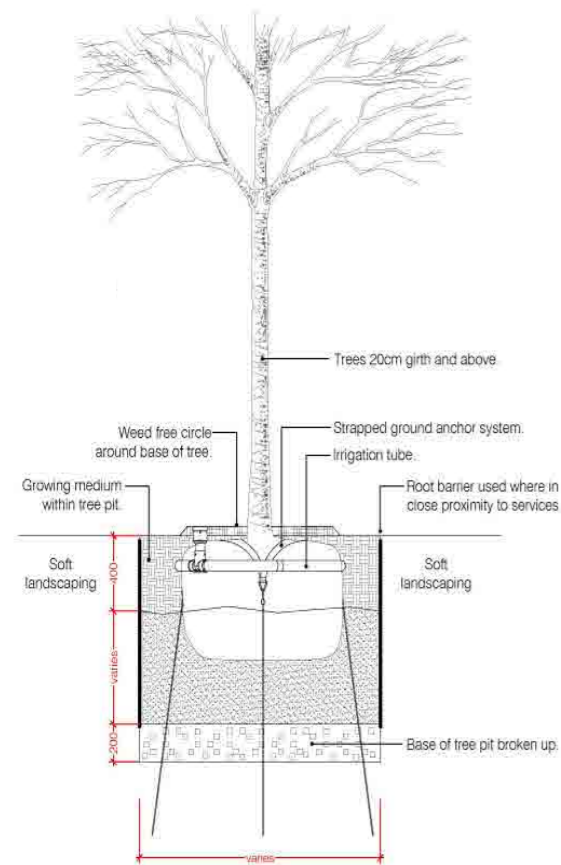
# Typical Tree Pit Detail



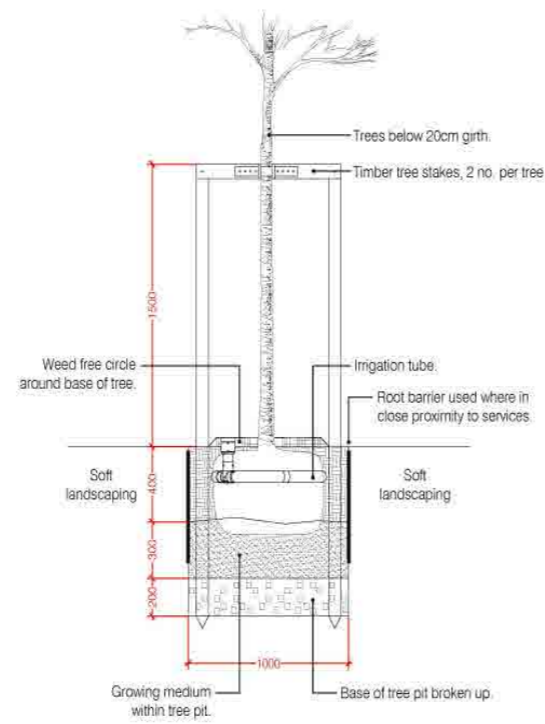
**Soft Landscaping/Guyed**



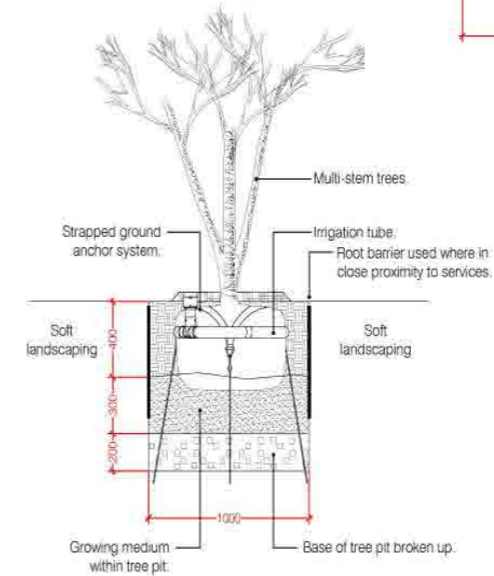
**Soil Cells in Hard Landscaping**



**Soft Landscaping/Guyed**



**Soft Landscaping/Staked**



**Landscaping/Multi-Stem**

# 2 Green & Blue Infrastructure

## Play Strategy

### General Principles

- All play areas to accord with the Fields in Trust and Equality Act Guidance.
- Offset buffers to play areas need to be followed in the masterplan design.
- Minimum sizes to play areas need to be followed in the masterplan design.
- Fencing or landscaped boundaries should be used where required.
- Play equipment materials should be selected with reference to suitable products that are robust and have appropriate longevity, metal footings should be specified with timber play equipment. Play equipment should be natural in materials and feel, and brightly coloured plastic and metal equipment should be avoided.
- The play space should be easily accessible by foot and or cycles and dwellings should provide natural surveillance of the space.
- All play areas should be designed to encourage inclusive play and include impact absorbing surfacing to be provided beneath and around play equipment or structures as appropriate.

### NEIGHBOURHOOD AREA FOR PLAY (NEAP)

1. A Neighbourhood Area for Play (NEAP) will be designed in accordance with the following key characteristics and features:
2. Minimum size 1000sqm and 30m offset buffer between activity zone and habitable facade.
3. Designated open space for older children – with opportunities for younger children.
4. The NEAP is located by a busy pedestrian route, immediately next to the existing public footpath (reference UB30).
5. Minimum of 9 play experiences.
6. Enough space for general active 'chase' type games.
7. The perimeter to the NEAP should be clear and recognisable, if fencing is required it must have 2 outward-opening, self closing gates on opposite side of the NEAP and signage.
8. Seating should be incorporated in the NEAP and at least 1 litter bin.
9. Convenient and secure parking for bicycles.



NEAP Play Area - Large play area, including sport provision and youth play.

## Sustainable Drainage Systems

### SuDS Strategy

The vision for the proposed hydrology is to manage the surface water on site, improving water quality whilst creating biodiversity benefits. The water strategy must form an integral part of the landscape design in the form of wet and dry attenuation basins and swales.

Water and flood attenuation features, and the land associated with them, are able to support a diverse range of habitats of particular value to aquatic invertebrates, wetland plants and amphibians. They may also be used by a variety of mammals and birds for nesting and feeding.

The attenuation basins must be designed to function as natural landscape features within the green grid, providing functional and attractive landscape features. This will be achieved with gentle slopes of 1:3 or less, natural landscape shapes and marginal aquatic planting. In line with Environment Agency advice, drainage features should be designed to accommodate an additional 30% increase in rainfall in order to cope with the potential for greater rainfall events in the future.

### Attenuation Basins and Swales

- These guidelines are taken from the CIRIA SuDS Manual and are standard practice for designing safe attenuation basins to avoid them requiring to be fenced off.
- Designs will not be overly engineered.
- Attenuation areas will be designed with shallow sides (see below) to enable multifunctional use, and will not be fenced off unless there are demonstrable safety concerns.
- All water features will be designed in accordance with local topography, and in accordance with Construction Industry Research and Information Association (CIRIA) guidance.
- Slopes of 1:3 or less, above and below the water line, allow people to enter and leave SuDS features easily and safely.



- The water's edge is clearly identified using planting or a hard or soft edge.
- Dense marginal planting is advised to provide a safe deterrent and barrier to paddling and swimming, but should not obscure visibility.
- Headwalls, manholes, inlets, outlets, control structures and other sumps or hard vertical surfaces that can be a trip hazard or create a hard surface near open water should generally be located a safe distance from the water's edge.
- All structures in the SuDS landscape should be assessed for health and safety during the design process.



Landscaped attenuation basins.



Landscaped swale.

Integrating playful features to cross attenuation basins.

Landscaped swale.

### Head Walls

Materials for headwalls and other structures in the SuDS landscape will be sympathetic to the character and appearance of the wider development. Concrete engineered headwalls should be avoided, or faced with a complimentary material avoiding large areas of exposed concrete.

Head walls for SuDS features will need to be integrated into the landscape.

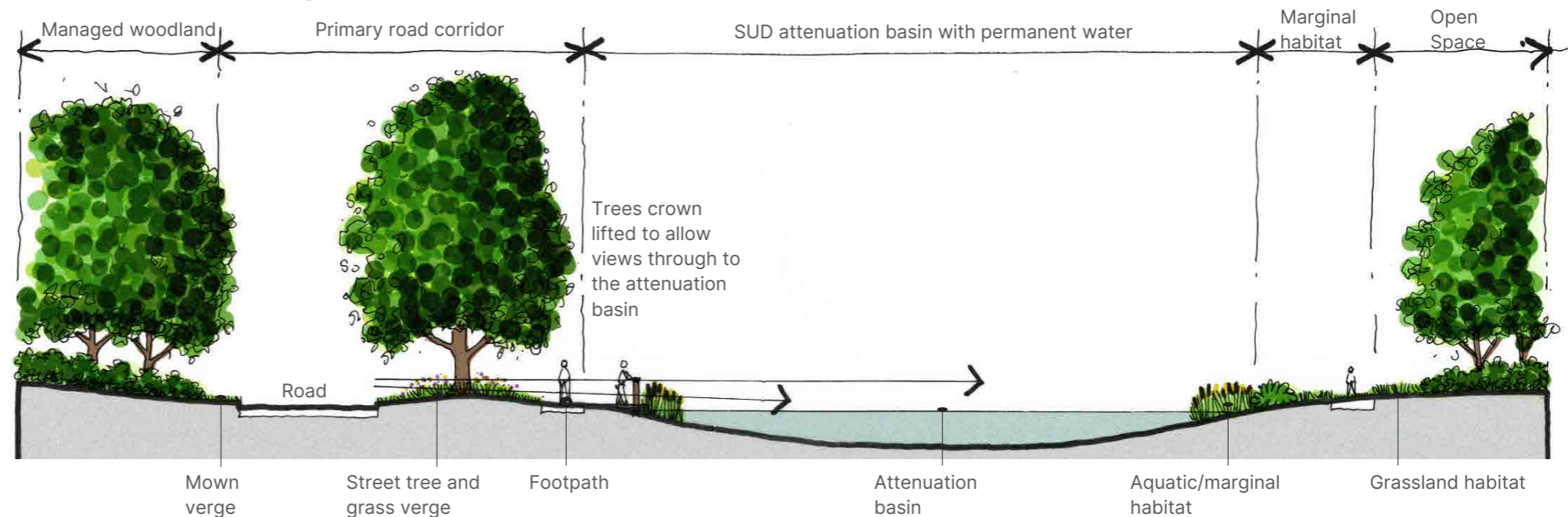
Anglian Water to be consulted on the headwall detail.

DO



Stone head walls within landscaped areas

### Typical section through an open space attenuation basin (NTS)



# 2 Landscape and Planting Strategy

## Tree Species: Right Plant, Right Place

Tree species selection should be based on location, function, and environmental factors to enhance habitat, air quality, shading, cooling, and the aesthetic value of the area. Tree species will vary according to street type and function, with more flexibility in open areas and for feature trees to introduce diversity.

Trees are chosen based on local character, climate, species traits, size, and site conditions. Biosecurity measures must be followed to prevent pests and diseases. In confined spaces, trees with suitable root structures, narrow crowns, and low water demand will be prioritised, while in more open areas, species with wider crowns may be selected.

Wider verges along Primary and Secondary Streets, should be incorporated into the design to allow for planting larger canopied trees.



## Avoidance Of Conflicts

Private trees must be kept at least 2.5 meters from the highway boundary and that highway trees require at least a 2 metre verge and must avoid obstructing visibility.

Any new planting must take into consideration the following constraints:

- Environmental easements.
- Service easements.

## Tree Pits and Surface Finishes

Specifications for tree pits and surface finishes to ensure successful tree planting. Semi-mature trees dug to a depth of 1.2m, and 1m for Extra Heavy Standard trees, both with a 200mm gravel drainage layer.



## Parkland & Open Space Trees

Parkland and open space and areas will be predominantly native trees, with some native sub-cultivars and selected non-native species. Some areas will be planted with specimen trees to create a sense of maturity on implementation.

These areas will combine a mixture of mown amenity grass, long grass, native wildflower and native bulbs. A combination of semi-mature and larger nursery stock trees will be planted.

### Typical Parkland & Open Space Trees





## Street Trees

Street tree planting will, in the long term, help to soften the character of the built development, fulfil a role in providing valuable wildlife habitat and contribute to climate change adaptation through urban thermal cooling (trees in urban areas serve to reduce temperatures through a combination of shading and evapotranspiration from leaves).

Native sub-cultivars will predominantly be used for street tree planting. Species for these locations will also have narrow crowns, with modest leaf and branch drop. Where space is less restricted species with wider crowns can be used. Trees will be planted as a mixture of semi-mature and advanced nursery stock.

## SUDs & Water Associated Tree Planting

Water tolerant tree species are to be used in areas close to SuDS features such as ponds and swales, and these will be predominantly native species, along with some non-native water tolerant species chosen for their unique characteristics.

Trees will be planted as a mix of standards and stock multi-stems. The use of native marginal and aquatic planting and wet tolerant native wildflower will be used around some of the edges of water features.

### SUDs & Water Associated Trees

### Typical Street Trees



*Acer campestre*  
'Elsrijk'



*Acer freemanii*  
'Armstrong'



*Acer platanoides*  
'Cleveland'



*Acer platanoides*  
'Columnare'



*Carpinus betulus*  
'Frans Fontaine'



*Corylus colurna*



*Ulmus*  
'Columella'



*Sorbus aucuparia*  
'Sheerwater Seedling'



*Pyrus calleryana*  
'Chanticleer'



*Tilia cordata*  
'Rancho'



*Alnus glutinosa* (multi-stem)



*Betula nigra* (multi-stem)



*Betula pubescens* (multi-stem)



*Cornus mas* (multi-stem)



*Populus tremula*



*Salix alba* 'Sericea'



*Salix caprea*



*Salix alba* 'Chermesina'

# 2 Landscape and Planting Strategy

## Feature Trees

Feature trees are to be planted in key locations as semi-matures for immediate visual impact and should have an upright form, even crown and with a minimum clear stem of 2.5m.

## Trees to Private Front Gardens

Only smaller growing, low to medium water demand trees should be planted in private front gardens so they won't impact on housing foundations. Trees should be planted as nursery stock.

### Feature Trees



Juglans regia



Liquidambar styraciflua 'Worplesdon'



Platanus x hispanica 'Huissen'



Quercus palustris



Acer campestre 'Nanum'



Acer pseudoplatanus 'Brilliantissimum'



Amelanchier arborea 'Robin Hill'



Betula jacquemontii (multi-stem)



Ilex aquifolium 'Nellie Stevens'



Gingko biloba



Liriodendron tulipifera



Tilia cordata 'Green Spire'



Taxodium distichum



Magnolia x loebneri 'Merrill'



Malus 'Evereste'



Malus 'Golden Hornet'



Prunus 'Umineko'



Sorbus x thuringiaca 'Fastigiata'

### Private Front Gardens Trees



## Trees for Parking Courts (Planted advanced nursery stock)

Trees that drop sap or sticky buds must not be planted within parking courts where their deposits will cause a nuisance to car owners. Trees with smaller upright crowns should be planted as advanced nursery stock.

### Parking Court Trees



Acer campestre  
'Huibers  
'Elegant'



Acer platanoides  
'Ebben's Column'



Betula utilis  
'Doorenbos'



Pyrus calleryana  
'Chanticleer'



Malus baccata 'Street  
'Parade'



Sorbus aria  
'Lutescens'

## Native Woodland Planting

Native woodland areas will be planted as a matrix as transplants which will have appropriate shrub shelters to facilitate growth in the first years of establishment:

- Acer campestre.
- Alnus glutinosa.
- Betula pendula.
- Carpinus betulus.
- Corylus avellana.
- Crataegus monogyna.
- Ilex aquifolium.
- Populus tremula.
- Quercus robur.
- Sorbus aucuparia.

### Native Scrub

Native scrub planting would be planted to enhance areas of existing trees providing enhanced wildlife corridors:

- Euonymus europaeus.
- Frangula alnus.
- Prunus spinosa.
- Rosa canina.
- Viburnum opulus.

### Native Hedge

Proposed hedgerows will be composed of mixed native species with a high percentage of hawthorn to reflect the composition of existing species-rich hedgerows in the local context.

New native hedgerows will be planted as transplants in double staggered rows with six plants per linear metre and have appropriate shrub shelters to facilitate growth in the first years of establishment:

- Acer campestre.
- Corylus avellana.
- Crataegus monogyna.
- Ilex aquifolium.
- Prunus spinosa.
- Rosa canina.

## Community Orchard

Community orchards should be planted as advanced nursery stock within areas of open space.

Apples:

- Bramley's Seedling.
- Cox's Orange Pippin.
- James Grieve.
- Laxton's Fortune.
- Newton Wonder.

Pears:

- Conference.
- Beurre Hardy.





# 3. Movement & Streets

# 3 Street Hierarchy

## Movement Hierarchy Plan

### Primary Street

The Primary Street provides the main public transport and movement corridor between Bennett Road on Phase 8 and Lewin Road to the north of Phase 9. This street provides the primary bus route serving Phase 8 and 9 combined.

### The Secondary Street

The Secondary Streets within phase 8 provide a temporary bus loop and movement corridor connecting the Primary Street, local centre, primary school and a link to Phase 9.

### Tertiary Streets

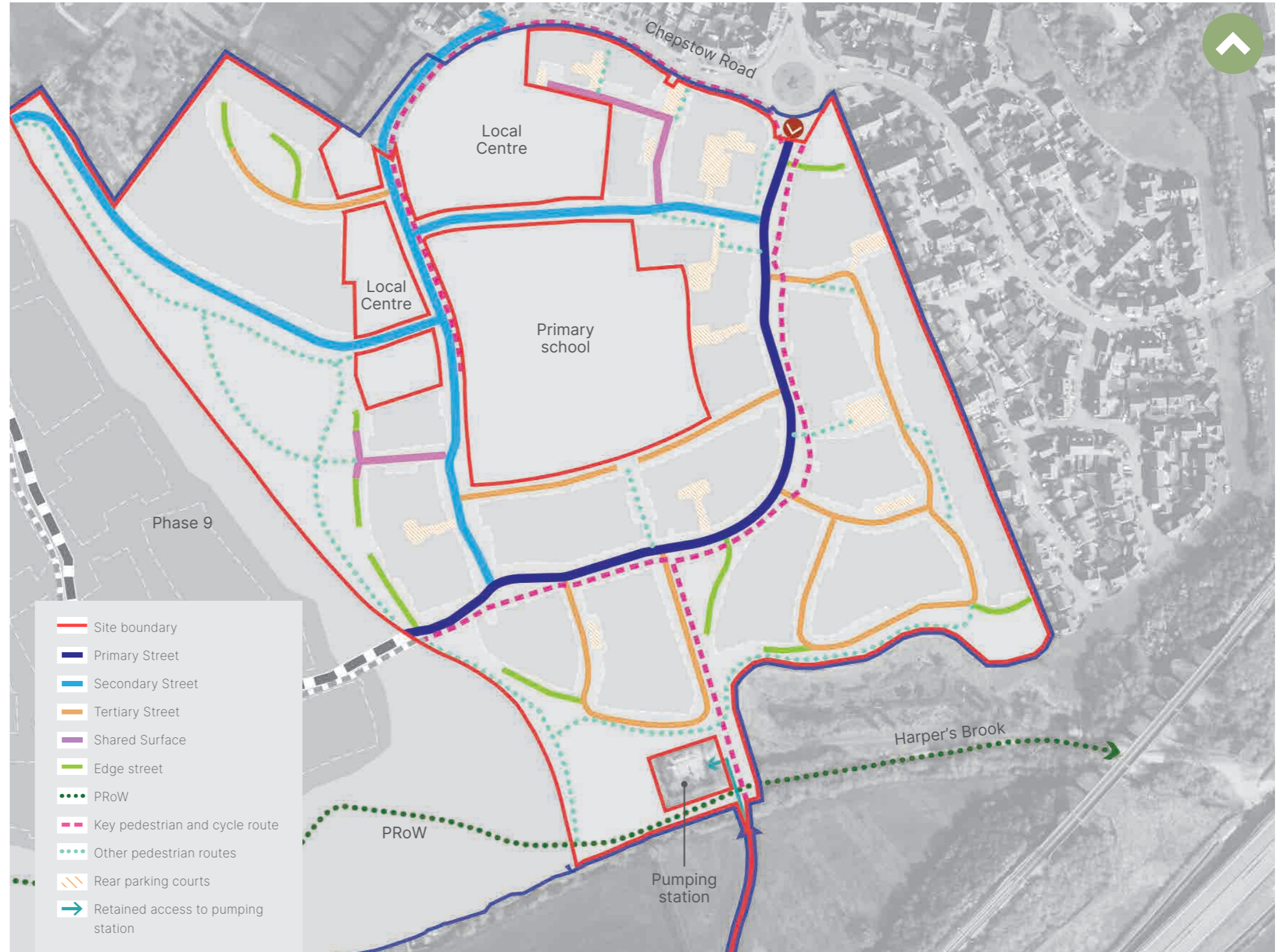
Tertiary Streets are designed to lower vehicle speeds from the Primary and Secondary Streets. Streets are designed with a dedicated footpath along one or both sides.

### Shared Surfaces

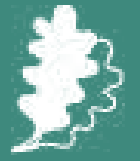
Shared surface streets with a more informal character encouraging greater social interaction and enjoyment for non-motorised users.

### Edge Streets / Private Drives

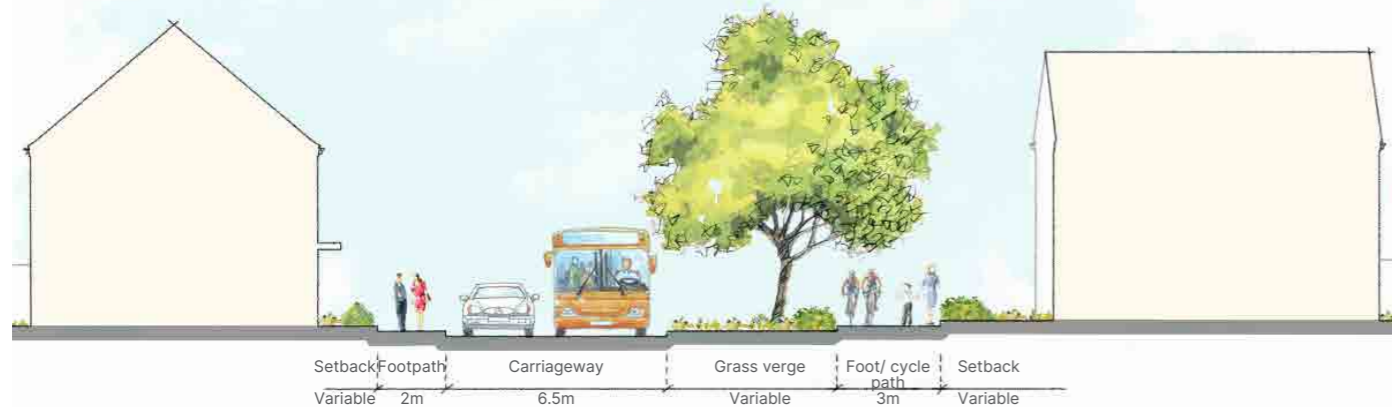
Informal winding streets that serve a small number of properties. They are normally not adopted streets and designed as shared surface streets. On these types of streets, the landscape takes a prominent role with houses sitting behind well landscaped gardens.



Street Hierarchy Plan.



## Primary Street - The Loop



Section A-A

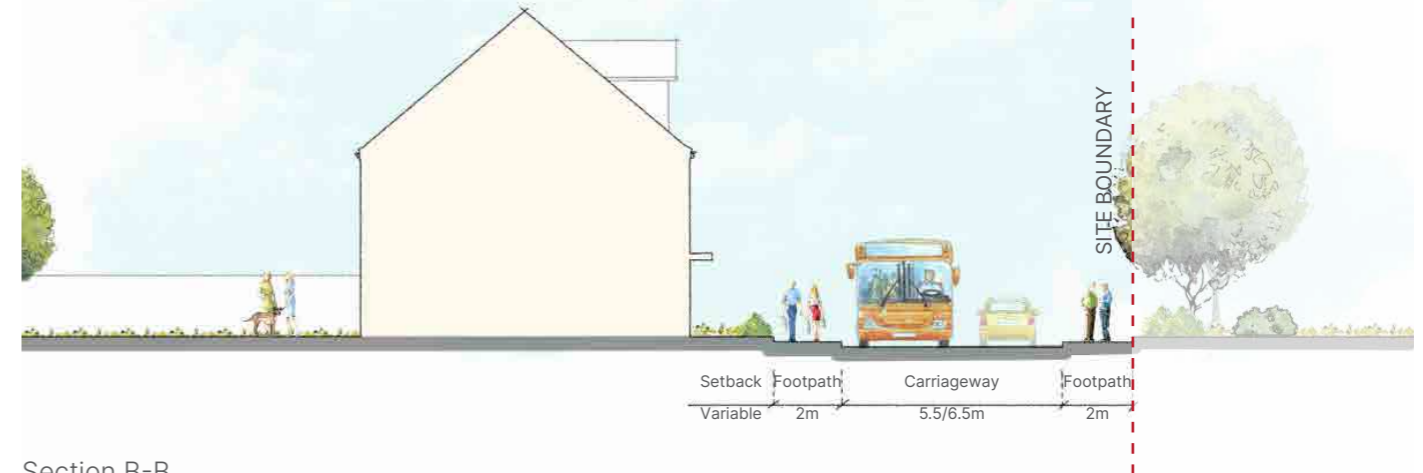


Location plan.

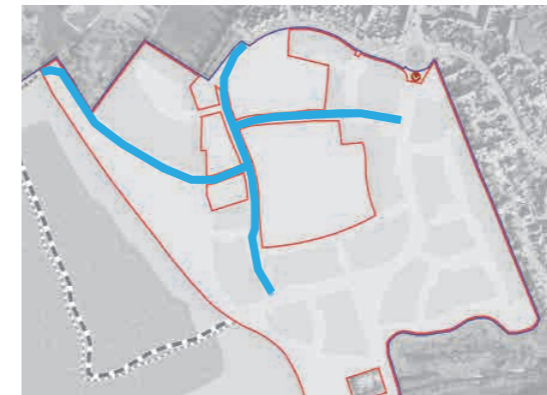
The loop serves as the principal entrance to the site, connecting the new neighbourhood to the existing roundabout at Bennett Road/Chepstow Road. It also functions as the primary route through the new neighbourhood, linking with Phase 9 to the southwest and, through Phase 9, connecting to Lewin Road. The Primary Street will follow a traditional layout, featuring a footpath on one side and a combined foot/cycle path on the other. It is designed to accommodate a bus route through the site. Pocket greens are incorporated along its length to promote traffic calming and to establish key nodal points within the development.

PRIMARY STREET - THE LOOP	
<b>CHARACTER</b>	Tree lined avenue to follow the patterns of neighbouring Corby's developments with a clear definition of carriageways, bus route, footpaths and cycle paths spaced between grass verges.
<b>CARRIAGEWAY WIDTH</b>	Minimum 6.5m, Maximum 7.3m.
<b>DESIGN SPEED</b>	20-30 mph.
<b>FOOTPATHS/ CYCLEWAY</b>	2m footpath and 3m LTN 1/20 compliant segregated foot and cycle path.
<b>PARKING</b>	Direct access to side parked on-plot parking and some rear drive through parking courts.
<b>HARD LANDSCAPING</b>	Tarmac. Tegula block paving at key spaces. For more details refer to the following Hard Landscaping section.
<b>LANDSCAPE AND TREES</b>	Variable width green verges (min. 2m) on at least one side of the Loop. Grass/shrub planting and trees.
<b>MARGINS</b>	Timber bollards, knee rails or shrub planting should be used to prevent vehicular access or parking on the Public Open Space where required. For more information on margins to private dwellings see Pattern Book.

## The Secondary Street



Section B-B



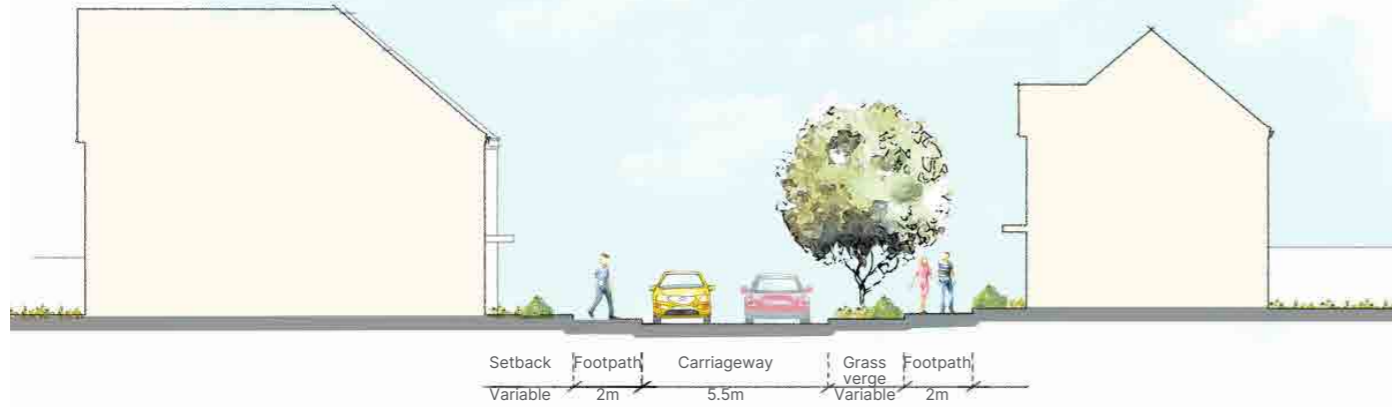
Location plan.

The Secondary Streets provide a link to Chepstow Road in the north and forms part of the Loop that connects with the Local Centre and Primary School. A Secondary Street links Phase 8 with Phase 9 in the north-western corner across Oakley Vale Park.

SECONDARY STREET	
<b>CHARACTER</b>	Semi-informal street with a potential for a bus route and characterised by interface with the Local Centre and the School.
<b>CARRIAGEWAY WIDTH</b>	6.5m width for north-south route and 5.5m width for the east-west route and link to Phase 9.
<b>DESIGN SPEED</b>	20 mph.
<b>FOOTPATHS</b>	2m footpath on both sides. Cyclists within the carriageway.
<b>PARKING</b>	Direct access to side parked, on-plot parking, with some private garages and drive through parking courts.
<b>HARD LANDSCAPING</b>	Tarmac. Tegula block paving at key spaces. For more details refer to the following Hard Landscaping section.
<b>LANDSCAPE AND TREES</b>	Variable width green verges (min. 2m) including grass/shrub planting and trees.
<b>MARGINS</b>	Timber bollards, knee rails or shrub planting should be used to prevent vehicular access or parking on the Public Open Space where required. For more information on margins to private dwellings see Pattern Book.

# 3 Street Hierarchy

## Tertiary Street



Section D-D

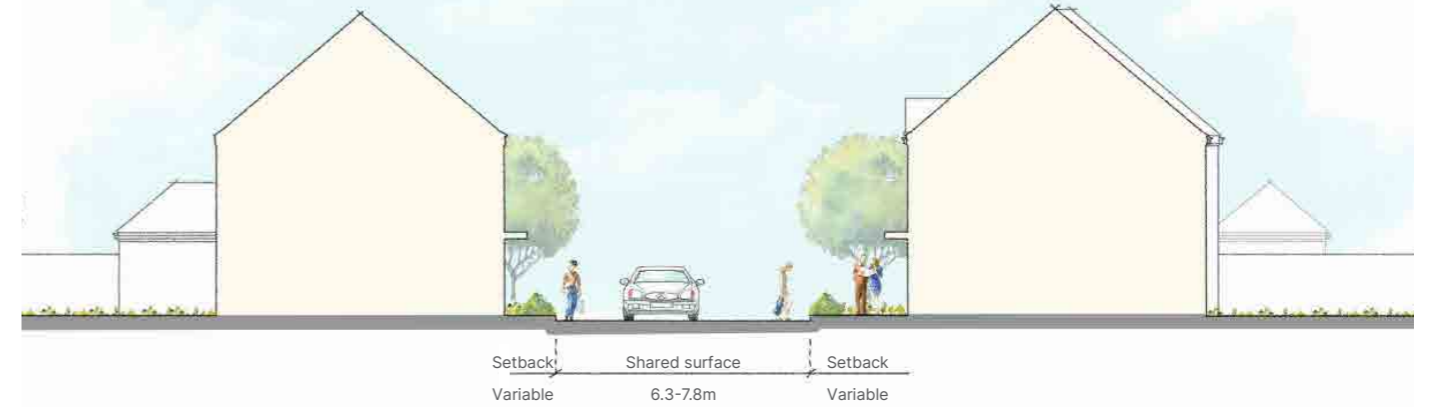


Location plan.

Traditional tertiary streets to provide access from Primary and Secondary Streets to Shared Surface Streets.

TERTIARY STREET	
<b>CHARACTER</b>	Streets with greater street enclosure, general consistent alignments of frontages and setbacks with fairly regular rhythm of plots.
<b>CARRIAGEWAY WIDTH</b>	Generally 5.5m, with local narrowing to 4.8m subject to swept path analysis.
<b>DESIGN SPEED</b>	15-20 mph.
<b>FOOTPATHS</b>	Cyclists share space with cars. Segregated 2m footpath on both sides.
<b>PARKING</b>	Limited on street and frontage parking, on-plot parking, small parking courts and private garages.
<b>HARD LANDSCAPING</b>	Tarmac / Tegula block paving. For more details refer to the following Hard Landscaping section.
<b>LANDSCAPE AND TREES</b>	Variable green verges in some areas to soften parking and built form, with shrub planting and informal tree plating.
<b>MARGINS</b>	Timber bollards, knee rails or shrub planting should be used to prevent vehicular access or parking on the Public Open Space where required.  For more information on margins to private dwellings see Pattern Book.

## Shared Surface



Section C-C

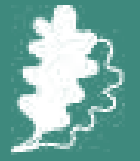


Location plan.

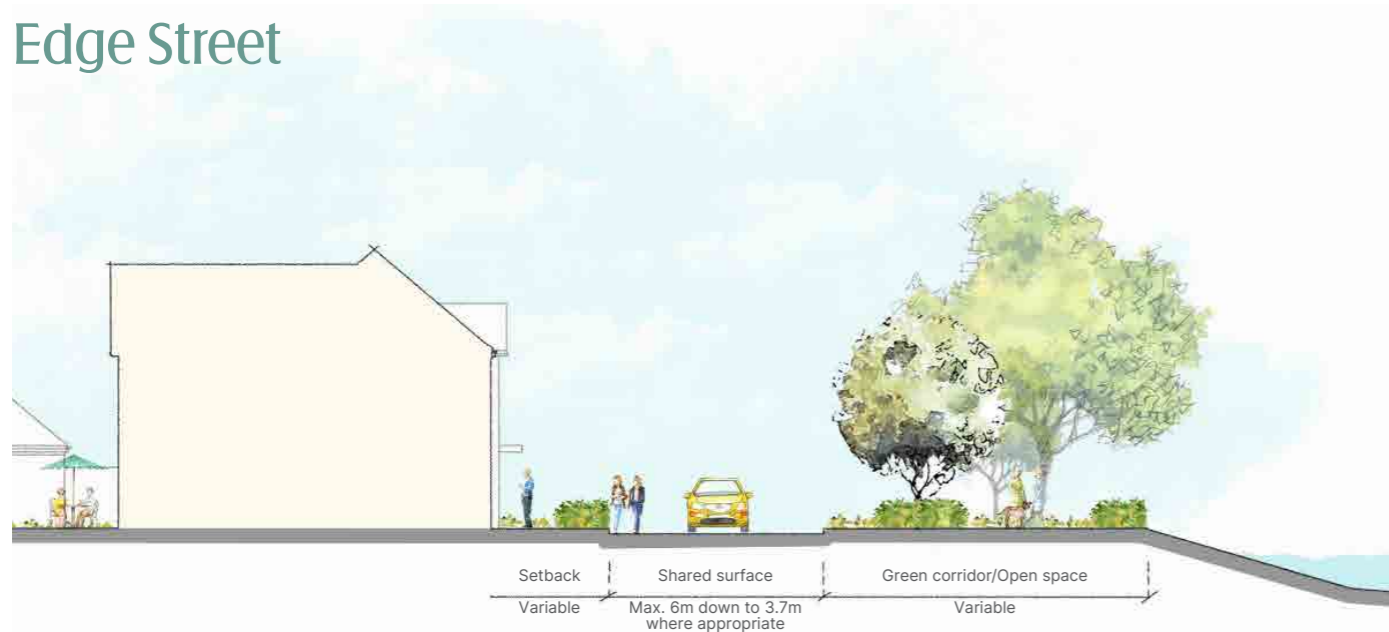
Shared Surface Streets are informal in character and designed to prioritise pedestrians and social interaction.

These are to be cul-de-sacs and serve no more than 20 dwellings and are not through routes.

SHARED SURFACE	
<b>CHARACTER</b>	Informal character shared surface streets.
<b>CARRIAGEWAY WIDTH</b>	Combined pedestrian/cycle and vehicular surface of between 6.3m and 7.8m including service strips. Localised narrowing where appropriate.
<b>DESIGN SPEED</b>	10-15 mph.
<b>FOOTPATHS</b>	Cyclists and pedestrians share space with cars.
<b>PARKING</b>	Direct access to mainly on-plot parking, private garages and some on street, drive through parking courts and frontage parking.
<b>LANDSCAPE AND TREES</b>	Shrub planting.
<b>HARD LANDSCAPING</b>	Tegula block paving. For more details refer to the following Hard Landscaping section.
<b>MARGINS</b>	Timber bollards, knee rails or shrub planting should be used to prevent vehicular access or parking on the Public Open Space where required.  For more information on margins to private dwellings see Pattern Book.



## Edge Street



Section E-E



Location plan.

Edge streets will serve a limited number of units and are located along the edges of the development or areas of public open space.

EDGE STREET / PRIVATE DRIVE	
<b>CHARACTER</b>	Informal character located on the edge of proposed open spaces. They will include private roads/drives/shared surfaces and will not be adopted streets.
<b>CARRIAGEWAY WIDTH</b>	Combined pedestrian/cycle and vehicular shared surface with a maximum of 6m width, narrowing to 3.70m in appropriate areas.
<b>DESIGN SPEED</b>	5/10 mph.
<b>FOOTPATHS</b>	2m footpaths within the green spaces/corridors.
<b>PARKING</b>	On street and limited frontage parking, side parked on plot parking, minimal parking courts and private garages.
<b>LANDSCAPE AND TREES</b>	Shrub planting.
<b>MATERIALS</b>	Tegula block paving. For more details refer to the following Hard Landscaping section.
<b>MARGINS</b>	Timber bollards, knee rails or shrub planting should be used to prevent vehicular access or parking on the Public Open Space where required.  For more information on margins to private dwellings see Pattern Book.

## Traffic Calming

The design of the traffic calming should not be a retrofit solution with chicanes and speed bumps. It needs to be integrated into the design at an early stage and in a considered way.

### Detailing

Streets and buildings should be designed and arranged to naturally slow down traffic. Speed reduction methods should acknowledge local highways requirements, and be carefully designed to reflect and enhance the intended character and appearance of the development.

Different materials used at crossings and junctions can be used to help slow speed.

Shared surface streets allow for traffic calming around the development by giving higher priority to pedestrians and cyclists.

Street planting and furniture can also be designed and integrated into the street design (where practical, as this shouldn't hinder mobility or obstruct the footpaths) to emphasise the inclusion, within the streets, of different users and their residential location.



Berryfields (Tiptree) - Shared surface street allows for natural traffic calming placing pedestrians at higher priority and encourages the social interaction of street spaces

# 3 Parking, Refuse & Servicing

## Parking Typologies

Parking and parking areas will be integrated and conveniently located near the dwelling they serve. Their design must ensure they contribute to creating a positive environment, without detriment to the quality of the streets and public places.

Private, visitor and cycle parking will be provided in line with Northamptonshire Parking Standards (September 2016) and designed following Manual for Streets (Part 1 and 2) guidance.

The Phase 8 development will include a range of parking solutions, applied on a location basis, to help reinforce the character intended for each of the character/frontage areas.

### On-Plot Parking

Parking spaces to the side of properties will be set back from the edge of the main frontage and have the following dimensions:

- 3m (W) x 5.5m (L) for driveways (11m long for tandem spaces).
- If the parking space is located against a wall or similar solid structure, or there is no separate pedestrian access, the driveway parking width will increase to 3.3m (6.3 meters for double bay parking) to allow for access to rear gardens for bicycle and bin storage.

### Garages and Car Ports

Garages will have the following minimum dimensions if they are to count as parking spaces:

- Single garage – 3.3m (W) x 6.0m (L) x 2.4m (H).
- Double garage – 5.8m (W) x 6.0m (L) x 2.4m (H).
- Garages must be a minimum of 5.5m setback from highway boundary.

Car ports will be encouraged as they limit the visual impact of cars while maintaining street activity.

Additional space allowed for domestic storage either within the garage or within a garden shed.

### Parking Courts

Parking courts must be designed so they do not compromise the overall character of a development, and avoid impacting onto neighbouring amenity spaces. They should serve a limited number of dwellings and include, at most, 10 parking spaces, and be secure and well lit. Flexibility in the number of parking spaces could be considered, incorporating appropriate landscaping, to reduce the number of direct vehicular access points.

Habitable rooms should overlook the parking court to provide natural surveillance. They will be appropriately screened when adjoining neighbouring plots, and contain landscape elements to help make them attractive spaces.

The transition from adopted areas to private parking areas/courts needs to be clearly marked at the entrance (with different material, or block strip/rumble strip etc). Parking bays should be conveniently accessible to all associated dwellings.

Where space allows, landscaping should be incorporated to soften the parking court, including climbers, shrub and tree planting, this should be provided in addition to private amenity space.

Materials should contribute to the intimate feel of the space and be distinct from the public realm.

Individual space dimensions: 2.7m (W) x 5m (L). Design of parking spaces will need to meet M4(2) requirements where required.

### Cycle Parking

Cycle storage will be located in a safe, convenient and ideally covered space, either as an integrated part of the building, garages or sheltered stores.

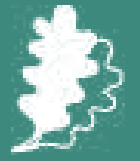
### Visitors, Disabled and Electric Car

Visitor, disabled and cycle parking must be designed as an essential component of the development, and located adjacent to key public spaces.

In order to meet the needs of people with disabilities, disabled parking bays should have an overall dimension of 6.2m long by 3.6m wide.

Electric Car parking provision will be in line with "The Building Regulations etc. (Amendment) (England) (No. 2) Regulations 2021, PART 9B Infrastructure for the charging of electric vehicles", or as superseded from time to time.





## Waste and Recycling

The Waste and Recycling Strategy will allow for the functional and convenient storage and collection of waste and recycling material, without impacting negatively the quality of buildings or the public realm.

The highway layout must be designed to allow a refuse lorry to access the front or rear of houses, via the adoptable standard road network.

### Storage

The storage facilities provided within the development will acknowledge the type and quantity of bins required in the local area, which currently comprises wheelie bins and recycling boxes.

### Bin Collection Points

Where there are private drives, a communal bin collection point will be located conveniently adjacent to the collection route. Their design will comply with current Building Regulation travel distances for residents and collection operatives.

Waste and recycling storage facilities will be positioned within close proximity of vehicle collection routes and be easily accessible, yet discreetly screened from the street.

### Individual Homes

Waste and recycling storage will be accommodated in rear gardens within the boundary of each house, in an open-air or ventilated position, shaded and away from windows.

If located within front gardens, bin storage facilities will be discreet, robust and sympathetic to the character of the building and street. They will be hidden away from street view and ideally screened by planting.

Bin storage for Flat Over Garages (FOGs) will be provided within the main envelope of the building, or in an 'out building' joined or close to the main structure.



Image from <https://www.northantstelegraph.co.uk/news/people/new-electric-bin-lorry-takes-to-the-streets-of-kettering-corby-wellingborough-and-rushden-4706012>

# 3 Hard Landscaping

## Hard Landscape Strategy

Reserved Matters Applicants should demonstrate adherence to the Hard Landscape Palette according to street type. The quality, appearance and durability of materials used in surfacing public routes and spaces play a crucial role in the creation of a high quality public realm, and a characterful wider environment.

The surface materials palette has been chosen to create a varied but harmonious appearance across the external environment. The use of these materials within this phase is encouraged, but other materials may also be acceptable subject to appropriate detailing:

- Consideration should be given to the material's supply, durability, longevity and ease of replacement or replication.
- Material colours should be muted and of natural tones, to complement rather than detract from the buildings and landscape setting.
- The landscape and public realm materials must be selected to uphold high standards of ethical and sustainable procurement.
- A range of appropriate adoptable materials should be used in order to reinforce the street hierarchy and create a safe, comfortable neighbourhood identity.
- The materials palette should also adapt to accommodate the evolving Sustainable Drainage Strategy - for example, by using pervious paving or permeable bound surfacing systems.

## Hard Landscape Principles

- All non-natural materials conform to the appropriate BS:EN coding for their anticipated use and comply with the broad adoptable standards.
- Roads to be delineated with a contrasting up-stand kerb.
- Level access to be provided at crossing points, and throughout where possible.
- Tactile pavings to be included at all crossing points.
- Segregated footpaths to be a minimum of 2m wide.
- Green in character, with planting and trees to provide visual amenity for the public and residents. Street trees to be planted a minimum of 1m from edge of carriageway.
- Material change to carriageway at nodal points, providing traffic calming.
- Where there is a transition between adoptable and private areas, it will be clearly delineated by a change in material and appropriate design detailing.

	Primary Street	Secondary Street	Tertiary Street	Shared Surface/ Edge Street	Open Space
<b>Carriageway</b>	Tarmac Tegula block paving at key spaces	Tarmac Tegula block paving at key spaces	Tarmac/ Tegula block paving	Tegula block paving	N/A
<b>Kerb</b>	Concrete kerb	Concrete kerb	Concrete kerb	Concrete kerb	N/A
<b>Footway</b>	Tarmac footway both side of the street and tarmac shared footway/ cycleway to one side of the street	Tarmac, footway both side of the street	Tarmac, footway both side of the street	N/A	Self binding stone surface (buff colour) - informal routes through open spaces Tarmac - formal footway/ cycleways
<b>Footway crossing</b>	Raised tarmac crossing	Tarmac	Tarmac	N/A	N/A
<b>On street parking</b>	Tarmac/Block paving parking bays	Block paving parking bays	Block paving parking bays	Tegula block paving/Block paving	N/A
<b>Verge</b>	Grass/shrub planting and trees	Grass/shrub planting and trees	Shrub planting and informal tree planting	Shrub planting	N/A
<b>Margin adjacent to private boundary</b>	Shrub planting/ hedging/ railing where applicable	Shrub planting/ hedging/ railing where applicable	Shrub planting/ hedging/ railing where applicable	Shrub planting/ hedging/ railing where applicable	N/A



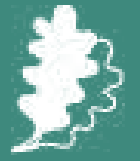
Bitumen macadam to road and pavements.



Tegula block paving.



Self binding stone surface.



## Site Furniture

The choice of a street furniture palette should acknowledge what the council will adopt in the public highways, and ideally focus on simple design, with consistent product types used across the development. Products should ideally be sourced from established suppliers with a consistently proven supply chain, to ensure a reliable procurement and replacement process. New and/or innovative products should not be precluded, if they can be proven to be of high quality and durable.

### Street furniture

Street furniture design and specification:

- Consideration must be given to the supply, durability, longevity and ease of replacement when specifying a street furniture element.
- Street furniture is to be sited to ensure an uncluttered streetscape and must not impede pedestrian and cyclist movement.
- The inclusion of integrated, bespoke design features within the street furniture palette should be considered as a potential part of any public art strategy for the site.
- Street furniture should be sited so that it minimises obstruction to the footpath.

- Elements of street furniture should generally be grouped together to minimise visual clutter.
- The street furniture proposals will be detailed as part of the First Reserved Matters Application(s) and will be replicated in subsequent applications.
- To define the edge of open spaces the use of timber bollards creates a village green character and also restricts parking.

### Seating

Seating should allow opportunities for integration of wheelchair users and include seating that provides back support.

Designs should allow for ease of maintenance and be resistant to vandalism.

Concealed recessed ground fixings should be used.

The seating proposals will be detailed as part of the First Reserved Matters Application(s).

Benches should be in timber material to fit within the natural landscape. Opportunity for timber feature tree seats to be incorporated in key spaces.

### Litter / dog bins

- Timber litter bins will be provided to parkland areas.
- Dog litter bins to be provided at park entry points, green colour.
- Litter bins to be located near bus stops and key gateway thresholds.
- Robust, functional and fireproof.
- Capacity to take account of intensity of use.
- The litter/dog bin proposals will be detailed as part of the First Reserved Matters Application(s) and will be replicated in subsequent applications for the open space through the development.



Timber bench and back.



Feature timber tree bench.



Timber bin.



Dog waste bin.

# 3 Street Furniture

The selection of street furniture must be considered in a comprehensive manner to ensure that a common language is maintained across the public realm, and provide a unifying element for the development across the various character areas. The furniture should also reflect the street hierarchy across the site. In choosing street furniture consideration should be given to the use of materials that have been or can be recycled and/ or that are biodegradable and the use of FSC certified timbers. Street furniture will complement building design and materials.

A palette of designs is shown opposite and on the following pages 59-61. The final choice of furniture to be used within adoptable areas will be subject to approval by the appropriate Authority who will need to consider implications for future maintenance, repair and replacement.

**Where provided, the use and placement of street furniture should reflect the following general principles:**

- Ensure that furniture is kept to a minimum;
- Ensure that it is robust, high quality and durable, with hidden/ recessed anti vandal fixings;
- The location of street furniture should give consideration to the direction of pedestrian movement maintaining clear unimpeded access corridors for all, but with particular consideration for the elderly, and the visually and mobility impaired;
- The street furniture will need to be well designed and take into consideration accessibility and the principles of inclusive design. It is important that a variety of seating options are provided for people within the streets and landscaped areas throughout the development. Ideally furniture would be specified from the same range, but which is available with different options to accommodate a variety of needs.
- Signage and bins should be fixed to existing poles/posts such as lighting columns with written permission of the Highway Authority. Signage fixed to buildings should be secured at high street level and subject to the required legal easements and agreements to continue its maintenance and replacement.

- Street furniture should be placed a minimum of 0.45m from the carriageway kerb to avoid being struck by vehicles;
- Street furniture should be obtained from established manufacturers and suppliers.

**Further guidelines for detailed design within open spaces include:**

- Seating should always be orientated towards the adjacent open space or street/movement corridor. Ensure that seating is perceived to be 'safe' from nearby vehicular traffic;
- Litter bins should be provided at key pedestrian nodes, PRow and entrance points and approximately 3-4 metres away from seating areas. Along streets, litter bins should be fixed to existing poles such as lighting columns;
- Dog litter bins should be provided in appropriate open spaces and as approved by the Local Authority;
- Bollards must be of solid and robust design, potentially have reflective bands, especially where adjacent to vehicular traffic. Bollards must not impinge upon the minimum footway/cycleway width.

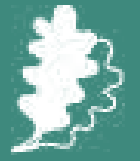
The simple palette of street furniture will reflect the local vernacular in form and materials. There will be a distinction in the style of furniture depending on the character of the area on site. Embellishments in the design of various items of street furniture will help define key space and primary streets.

## Street Lighting























All lighting should reflect the general palette of street furniture and keep light pollution to a minimum. Street lighting in proximity to ecologically sensitive areas will be carefully designed to mitigate any adverse impact. Public realm lighting should be suited to use at a variety of heights and in a variety of situations.

Street lighting for adoptable roads must be approved by the Local Highway Authority. Lighting must be sensitively located respecting adjacent building uses. The location of lighting and position of trees should be considered together so that one does not detrimentally affect the other.

Street lighting may be mounted on the façade of buildings, particularly on lower order streets. However, where this approach is pursued, early consultation is required with all stakeholders to ensure a mutually convenient location and legal position can be agreed. On streets fronting open space and in association with private drives, low level bollard lighting will be encouraged to provide an appropriate transition to the soft edge.

























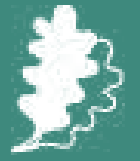
## Street Furniture Matrix

	Lighting	Seating	Litter Bins	Bollards	Tree Grills	Tree Guards	Cycle Stands	Interpretation	Way marking	Sign posts	Street names	
<p><b>Key Spaces</b></p> <p>Brackley or similar (with potential brackets to hang flower baskets)</p> <p>Street lights to be provided in adoptable areas only (5m in height)</p>		<p>New forest seat Furnitubes or similar</p> 	<p>Round Medium Cast Iron Bin BX 2319</p> <p>Broxap or similar</p> 	<p>Callender Cast Iron Bollard BX 1571</p> <p>Broxap or similar</p> 	<p>Tree frame Monoscape or similar</p> 	<p>Oxford Tree Guard</p> <p>Furnitubes or similar</p> <p>Broxap or similar</p> 	<p>BXMW/GS/Sheffield-Stand</p> <p>Green</p> <p>Broxap or similar</p> 	<p>Cropwell Display Case</p> <p>CROPWELL</p> 	<p>Fixed Hardwood Timber Bollard with elaboration</p> <p>Woodscape or similar</p> 	<p>Woking Signage Column Painted green</p> <p>BX14 4325</p> <p>Broxap or similar</p> 	<p>Westminster Style or similar</p> 	<p>Design Form: The furniture within the key spaces should be simple in design form with embellishments within the signage to provide a sense of character to the space. Subtle variations in colours should provide and dictate a change in character.</p>
<p><b>Primary Streets</b></p> <p>Brackley or similar (with potential brackets to hang flower baskets)</p> <p>Street lights to be provided in adoptable areas only (5m in height)</p>		<p>Lakeside Seat BX 2060</p> <p>Broxap or similar</p> 	<p>Square Standard Cast Iron Bin BX 2315</p> <p>Broxap or similar</p> 	<p>Hanchurch Ductile Iron Bollard BX 1621</p> <p>Broxap or similar</p> 	<p>Liverpool Tree Grille &amp; Guard LV 1045</p> <p>Furnitubes or similar</p> 	<p>Liverpool Tree Guard</p> <p>Furnitubes or similar</p> 	<p>BXMW/GH-Harrogate-Stand</p> <p>Broxap or similar</p> 	<p>Urmston Display Case BX URMSTON</p> <p>Broxap or similar</p> 	<p>Fixed Hardwood Timber Flat Top</p> <p>Bollards with coloured band</p> <p>Woodscape or similar</p> 	<p>Woking Signage Column</p> <p>BX14 4325</p> <p>Broxap or similar</p> 	<p>Westminster Style or similar</p> 	<p>Design Form: Street furniture within the primary streets should be more elaborate in form with in a traditional style. Materials should be more formal with cast iron and metal being the dominant material choice.</p>









3

### Street Furniture Matrix

	Lighting	Seating	Litter Bins	Bollards	Tree Grills	Tree Guards	Cycle Stands	Interpretation	Way marking	Sign posts	Street names	
<p><b>Secondary Streets</b></p> <p>King fisher Tauri or similar</p> <p>Street lights to be provided in adoptable areas only (5m in height)</p> 	<p>Riverside Seat BX 2041-BP</p> <p>Broxap or similar</p> 	<p>Square Standard Iron Bin BX 2315</p> <p>Broxap or similar</p> 	<p>Holborn Bollard HOL 520</p> <p>Furnitubes or similar</p> 	<p>Oxford Tree Grille OS 1230</p> <p>Furnitubes or similar</p> 	<p>Oxford Tree Guard</p> <p>Furnitubes or similar</p> 	<p>BXBMW/GH-Harrogate-Stand Broxap or similar</p> 	<p>Urmston Display Case BX URMSTON</p> <p>Broxap or similar</p> 	<p>Fixed Hardwood Timber Flat Top</p> <p>Bollards with coloured band</p> <p>Woodscape or similar</p> 	<p>Woking Signage Column BX14 4325</p> <p>Broxap or similar</p> 	<p>Westminster Style or similar</p> 	<p>Design Form: Street furniture within the Secondary streets should become less formal in style with a less elaborate form.</p>	
<p><b>Tertiary Streets</b></p> <p>King fisher villa or similar</p> <p>Street lights to be provided in adoptable areas only (5m in height)</p> 	<p>Riverside Seat BX 2041-BP</p> <p>Broxap or similar</p> 	<p>Derby E Double Slimline Litter Bin</p> <p>BX45 2596-E-DDS or similar</p> 	<p>Holborn Bollard HOL 520</p> <p>Furnitubes or similar</p> 	<p>Tree frame Monoscape or similar</p> 	<p>Oxford Tree Guard</p> <p>Furnitubes or similar</p> 	<p>BXBMW/GS/Sheffield-Stand Green</p> <p>Broxap or similar</p> 	<p>Urmston Display Case BX URMSTON</p> <p>Broxap or similar</p> 	<p>Fixed Hardwood Timber Flat Top</p> <p>Bollards with coloured band</p> <p>Woodscape or similar</p> 	<p>Woking Signage Column BX14 4325</p> <p>Broxap or similar</p> 	<p>Westminster Style or similar</p> 	<p>Design Form: Street furniture within the Tertiary streets should be simple and subtle. With some elements painted green to create and timber used to create a more rural effect.</p>	



## Street Furniture Matrix

	Lighting	Seating	Litter Bins	Bollards	Cycle Stands	Interpretation	Way marking	Sign posts	
<b>Parkland</b>	Illuminated Hardwood Timber Bollards Woodscape or similar	Tooting Seat Woodscape or similar	Square Lockable Litter Bin, Fixed Top LBS 112	Fixed Hardwood Timber Round Bollards Woodscape or similar	West Cross Cycle Stand BXMW/WCC Broxap or similar	Information Panels – Traditional Woodscape or similar	Fixed Hardwood Timber Dome Top Bollard with coloured band Woodscape or similar	Timber Finger Post Sign Woodscape or similar	Design Form: Within the parkland street furniture should use wood as a dominant material but still be simple in form with limited embellishments. The form should still relate to the street furniture from the site as a whole with the litter bins being orthogonal. Lighting should be sensitive to the more rural surrounds and where possible be low level.
									



# 4. The Pattern Book

# 4 Introduction

# Temperature Control Plan

The Pattern Book provides guidance on the appropriate architectural and landscape detailing, and the palette of materials which has taken influence from character analysis of the surrounding villages of Great Oakley, Rockingham, Cottingham, Middleton.

The Pattern Book of architectural details includes:

- **Walls** – materials hierarchy, locally distinctive walling detailing.
- **Roof** – eaves & verge details, chimneys, integrating renewable energy technologies if used.
- **Windows** – Window style & proportion, cill, head details, bay windows and dormers.
- **Doors** – door surrounds, porches.
- **Landscape** – Boundaries treatments & frontages, boundary walls, boundary level transition.

The details that follow are for guidance and their application is at the discretion of the Reserved Matters Architects. More specific information is provided where it is felt that a particular aspect of design needs to be carried out faithfully. Where known, required technical standards (such as the requirement for the front porches to be M4(2) compliant) have been incorporated.

The Design Code uses a 'Heat Map' methodology to ascribe a hierarchy and define the 'Character Areas'. This is a clear and understandable way of imparting the Design Concept and intentions of the Landowner and Design Team, to the Local Authority Consultees, and importantly make the proposal work for commercial House Builders and Developers who can cost the design to assess value.

The Urban Design Approach for Great Oakley is to create streets and spaces enclosed by buildings which relate to good, traditional, local precedents, whilst incorporating Modern Future Homes technical standards.

Most traditional Townscapes have a hierarchy – more money and design 'effort' was historically put into High Streets, Main Streets, Key Buildings and around Public Spaces, and the Heat Map gives clarity on how parts of the proposed layout can be picked out to follow this traditional approach.

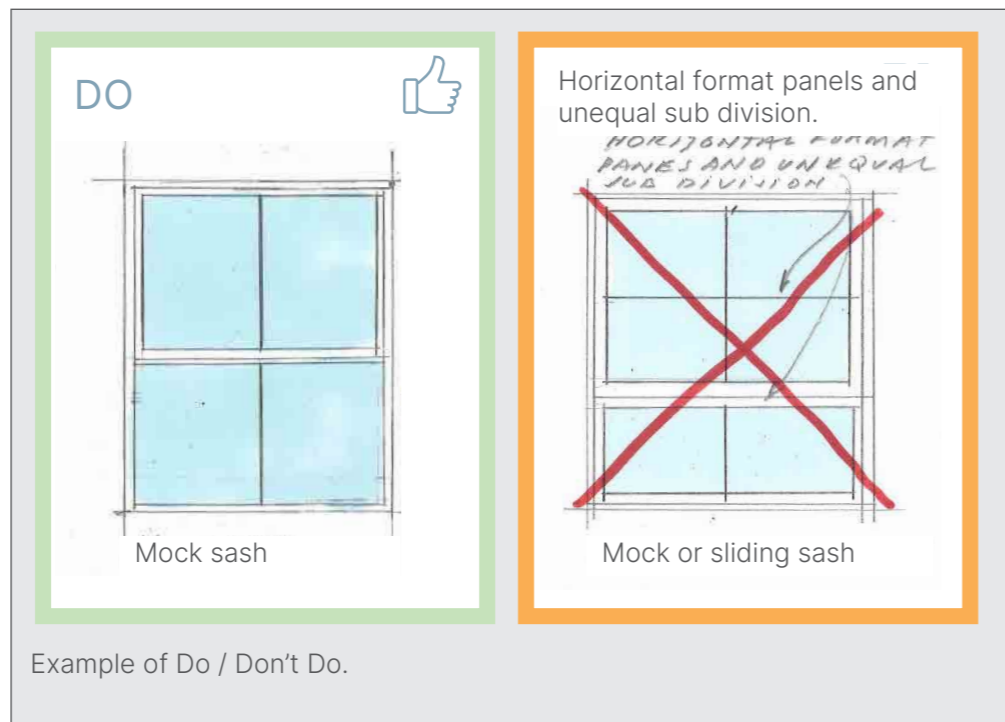
## Definitions

This variable design control is delivered by the 'Thermometer Principle', with each part of the Illustrative Masterplan, using the hierarchical approach to the level of control exercised, is given a specific temperature (Hot/Warm/Cool) which identifies the required level of design code control imposed. Key or Hot areas will have the greater degree of control and Cool will have the least. Hot areas will, therefore, have a greater degree of consistency whilst Cool areas will generally allow for more design discretion and a wider choice of acceptable options.

The Pattern Book provides clarity on how this hierarchy can be achieved.

## Do / Don't

The following sections will focus on each level of design control providing architectural details and including examples of appropriate and inappropriate approaches.



**Hot** – Houses that have the highest specification of bespoke detailing and use enhanced specification materials.

**Warm** – Houses that have some bespoke features of a mid range specification and materials with enhanced detailing.

**Cool** – Houses with the lowest level of design detailing and no additional coding restrictions.



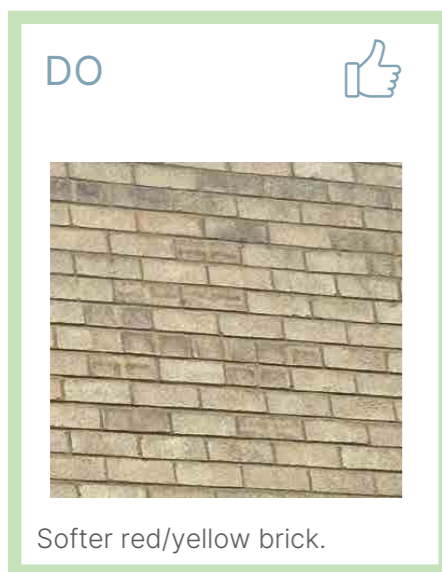
- Site boundary
- Hot
- Warm
- Cool

# 4 Materials

## Walls and Roof Materials

The palette of walling and roofing materials should provide consistency and evoke the overall unity found within the local vernacular, which is predominantly orange-coloured ironstone and lighter limestone.

Bright red bricks are to be avoided. Softer red/yellow bricks that match the hue of local buildings will be used.



### HOT BUILDINGS

#### WALL MATERIALS

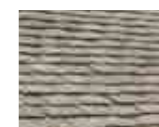


Reconstituted stone.



Reconstituted stone quoins.

#### ROOF MATERIALS



Stone slate appearance roof tiles.

#### EAVES

Gable end and mid roof chimneys.

Black PVCU gutters and down pipes with 'rise and fall' metal brackets.

Black or white PVCU fascias & bargeboards. Brick eaves – with brick to match hue of stone.

#### ROOF VERGES

Wet 'bedded' verge.



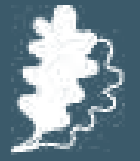
#### RAINWATER GOODS AND GUTTERS

PVCU rainwater goods detailed to resemble cast iron style features.



**Note:** No GRP bay, dormer covers, fake GRP tile effect canopies will be allowed.

Source: \* [www.roofingsuppliesuk.co.uk](http://www.roofingsuppliesuk.co.uk)



## WARM BUILDINGS

### WALL MATERIALS



Some reconstituted stone.



Stock brick - to match hue of stonework.



Some use of render.



Limited use of painted brick.

### ROOF MATERIALS



Grey interlocking duo tile with plain tile appearance.



Brown interlocking duo tile with plain tile appearance.

### EAVES

Black PVCU gutters fascias and down pipes.

Black or white PVCU bargeboards.

Simple brick eaves – with brick to match hue of stone or applied 'cut rafter feet'.

### ROOF VERGES

Wet 'bedded' verge.



### GABLETS AND DORMERS

Standard hipped and flat dormers.



### RAINWATER GOODS AND GUTTERS

PVCU rainwater goods.



## COOL BUILDINGS

### WALL MATERIALS



Stock brick - to match hue of stonework.



Limited use of render.

### ROOF MATERIALS



Grey interlocking duo tile with plain tile appearance.



Brown interlocking duo tile with plain tile appearance.

### EAVES

Black PVCU gutters fascias and down pipes.

Black or white PVCU bargeboards.

Simple brick eaves – with brick to match hue of stone or applied 'cut rafter feet'.

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Wet 'bedded' verge.



### GABLETS AND DORMERS

Standard hipped and flat dormers.



### RAINWATER GOODS AND GUTTERS

PVCU rainwater good.



Source: \* [www.ibstock.co.uk/product/roof-tiles/gemini](http://www.ibstock.co.uk/product/roof-tiles/gemini) - \*\* [www.apcmouldings.co.uk](http://www.apcmouldings.co.uk)

# 4 Architectural Details

## Windows and Lintels

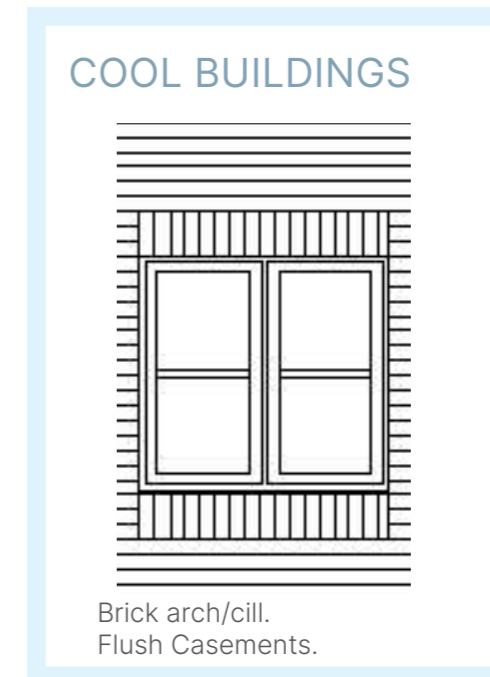
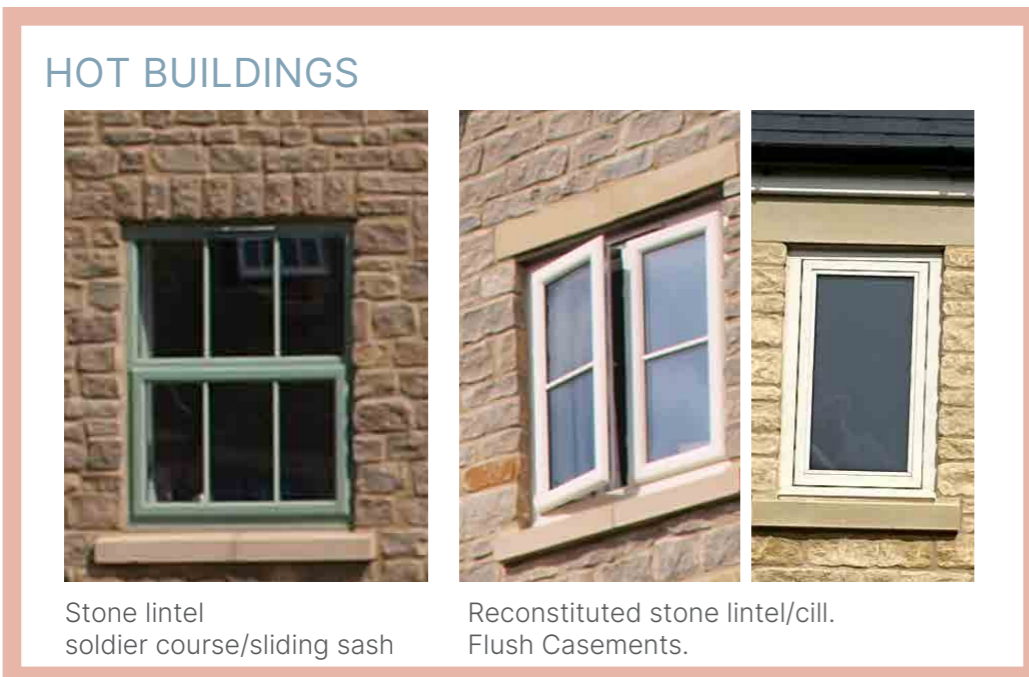
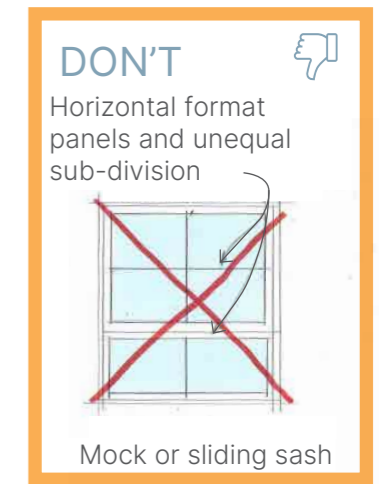
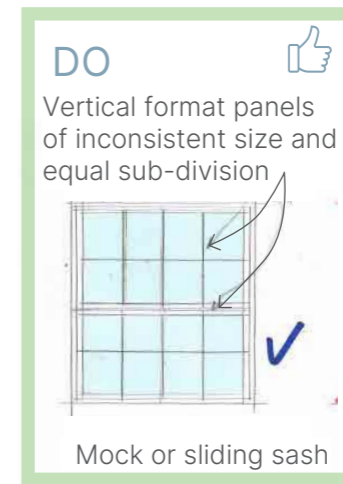
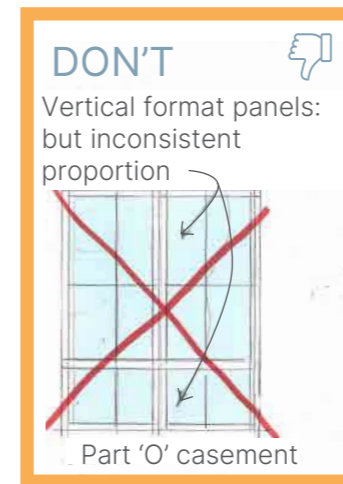
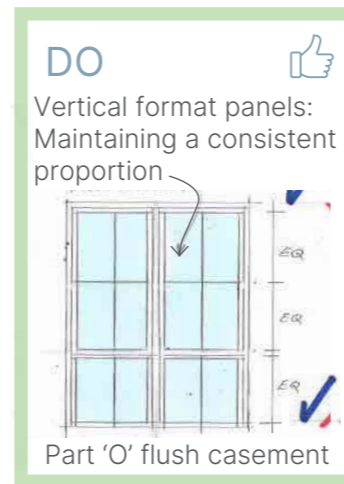
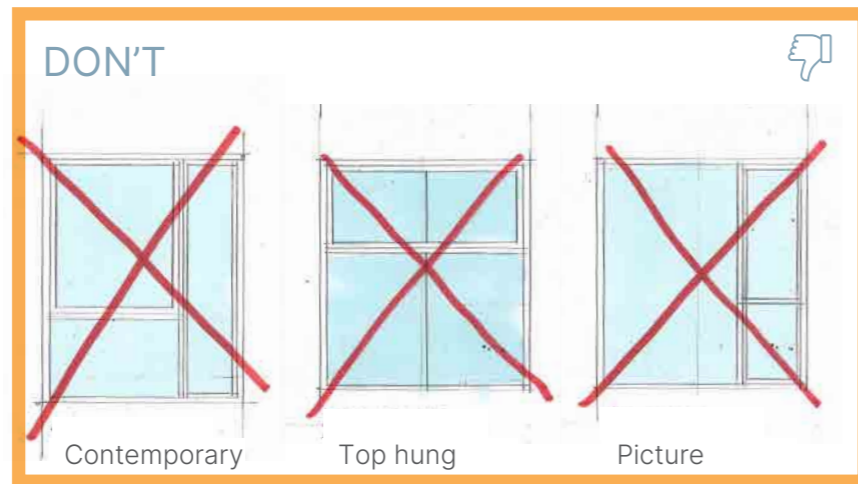
Windows will have traditional flush casement and mock sash appearance, some with coloured foil wrap.

Window panes should have a vertical proportion and consistent sizes and sub-divisions. Inconsistent proportions must be avoided.

Traditional colours (soft estate colour palette) will be used to reflect the local context, with some windows in white allowed. Bright colours must be avoided.

Rear elevations can have simpler head/cill details, either soldier course or single projecting band.

**Note:** Windows are to be designed in line with current building regulations.



**Definition:**  
Flush casements is where the frame of the opening casement is flush with main window frame.



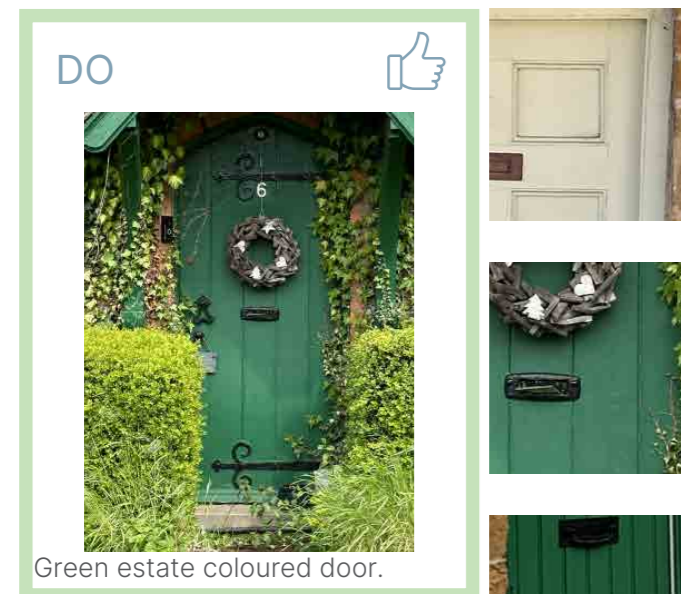
## Doors

Entrance doors will follow a traditional style reflective of local buildings.

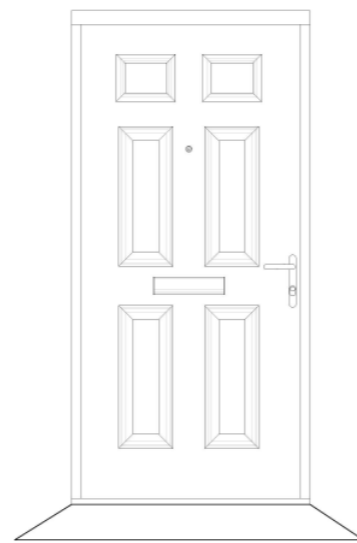
All front doors will be in GRP/composite.

Traditional estate colours will be used to reflect the local context and bright coloured doors must be avoided.

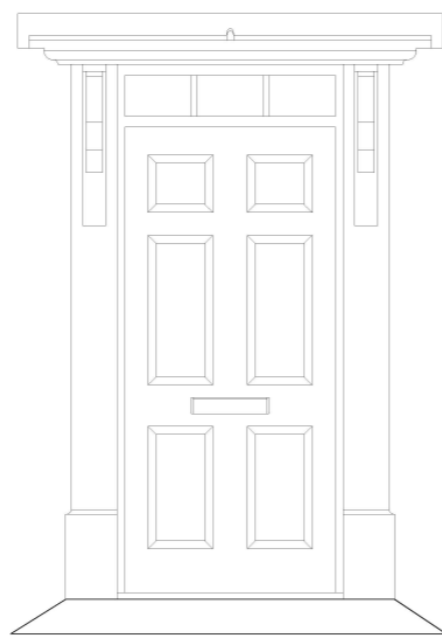
Estate colour palette such as the below selection should be used.



Door details and surrounds will vary depending on the temperature control level of the buildings: Hot buildings will include entrance doors featuring some additional details and bespoke surrounds.



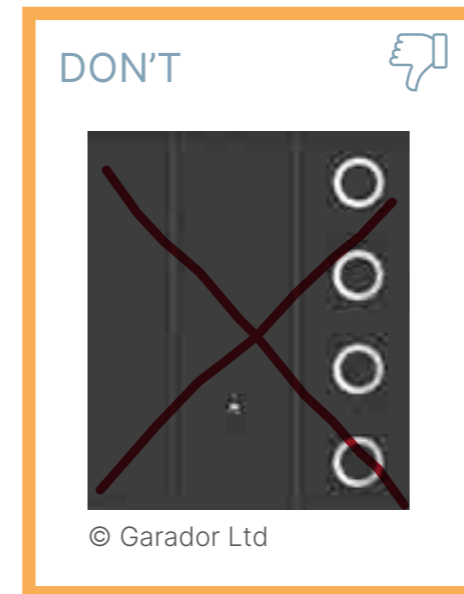
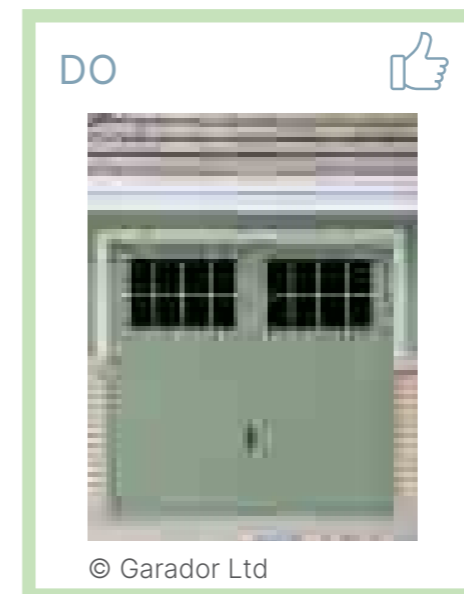
Standard door in traditional style in Warm and Cool buildings



Additional details and some bespoke features for doors in Hot buildings.

## Garages

The colour of garage doors will match the front doors in all cases.



## Porches

Flat roof and lean to roof canopies will be used across the different temperatures.



Flat porches will be a common feature.



Hot buildings will also include traditional pitched roof porches, doors surrounds and porticos as seen in Great Oakley.



**Note:** GRP tile effect canopies will be allowed in cool areas.

# 4 Architectural Details

## Chimney

Chimneys are an important feature of local buildings, creating a more articulated roofscape. Some houses will have chimneys either in the middle of the roof or in gable ends.

### HOT BUILDINGS

Gable end and mid roof chimneys.



### WARM BUILDINGS

Mid roof chimneys.



### COOL BUILDINGS

Chimneys need not be applied in cool areas unless it is considered beneficial to the streetscene.

Chimney stacks on Hot buildings can be proper masonry stacks which project from the external wall and go right to the ground.

The use of applied GRP chimneys in the middle of roofs could help in providing an alternative to traditionally constructed stacks, without affecting floor plans.

### Design Guidance

Chimneys should be:

- Minimum 3 bricks by 2.5 bricks.
- Minimum 10 courses above ridge plus capping and pot.
- Be in brick finish matching main house brick.



Example of existing gable end masonry and mid-roof chimney in Great Oakley Village.

## Outbuildings / Ancillary Structures

### Garages

Garages will be generally set back from the main frontage and be covered by pitched roofs to match the character of the houses.

Where brick is the main material of the house the garage will match the same brick type. For houses with stone elevations, a similarly toned brick should be used for standalone structures, while stone should be used for garages attached to the house.

Also garage roof verge details to be wet bedded as per the main dwelling.

### Car ports/drive throughs

Car ports/drive throughs will have pitched roofs matching the materials and detailing of the houses they relate to.

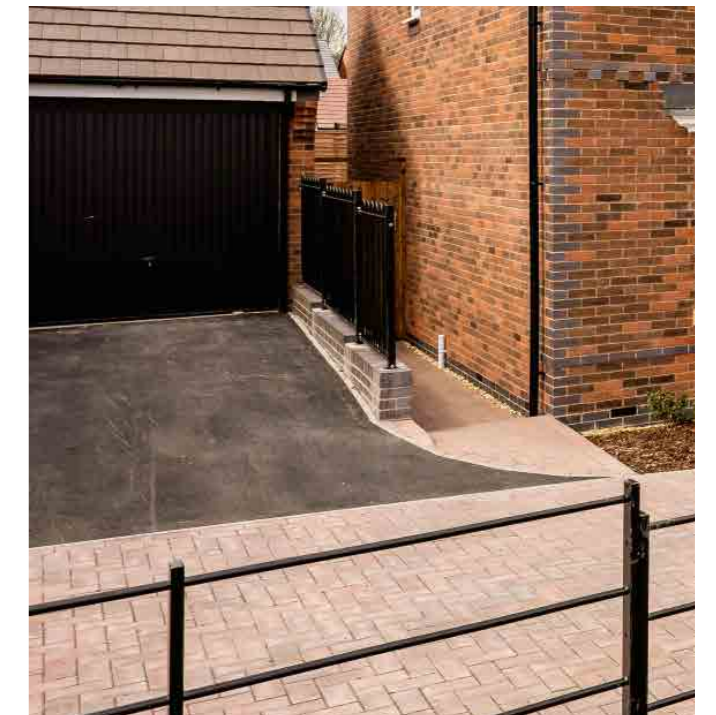
### Cycles stores

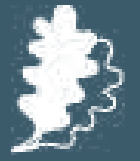
Cycle stores will be located within private gardens, in structures of durable materials sympathetic to the main house and other ancillary structures.

### Sub-stations

Sub-stations will feature gabled roofs and be strategically located to ensure they do not detract from, or compromise, the intended character of the proposed built environment.

To maintain visual harmony, the sub-stations will be clad in materials consistent with nearby houses, such as stone or brick, and will incorporate detailing on blank walls.





## Solar Panels / PV Panels

To meet current future homes standard, PV panels may have to be used. If they are, they should comply with the following guidelines.

Solar panels will need to be located on the south facing or east and west facing elevations. Where possible they should be located on the rear of properties, and not on the front elevation facing the public realm. Where the south elevation is facing the public realm, the roof tile should be grey interlocking duo tile which will blend the panels into the roof. They should be inset so they are flush with the roof tile surface.

### Furthermore:

- Panels facing the public realm should be in roofs, finished with the grey interlocking duo tile.
- Panels should not be used with the red brown interlocking duo tile, where they are seen from the public realm.
- All panels are to be kept to a minimum and be 'in line' low profile designs.
- Panels are to be arranged in a symmetrical and even way.
- All panels are to be in the same orientation.
- Careful consideration is to be given to siting on the roof e.g. central or equidistant from key features such as dormers.
- Consideration should be given to less obtrusive solutions such as PV tiles.

DO



\*PV laid against a slate roof.

DON'T



PV raised panel on a bright red tile roof.

## Air Sourced Heat Pumps (ASHP)

ASHP must be located to the rear of buildings, avoiding them cluttering frontages onto the public realm.

ASHP can be located to the side of properties, if behind a garden fence or wall and screened from public view.

DO



ASHP on the rear of a building.

DON'T



An ASHP on the front of a building.

## Meter Boxes, Extract Vents, Aerials

Meter boxes or air source heat pumps, which should be located to the side and close to the ground where possible.

Meter boxes should be coloured to be similar to the background materials.

DO



Meter box on a side wall.

DON'T



Meter boxes on the front of a building should be avoided where possible.

\* Source: [www.wienerberger.co.uk](http://www.wienerberger.co.uk)

# 4 Boundary Treatments

## Front Garden Boundaries

The boundary treatments to front gardens are key to providing clear definition between the public and private realm and contributing to the overall character and quality of the development.

**Front boundary treatments will typically comprise one of the following typologies:**

- **Natural low rubble stone wall fronting Hot buildings to highlight key spaces and gateways.**
- **Estate railings will be used to define frontages of some Warm buildings and in particular those fronting Oakley Vale Park and key spaces along the Loop/Primary Street.**
- **Hedging, shrub planting and grass margins will be used in Warm/Cool buildings within the remaining areas.**

The following requirements will apply to all front garden boundaries:

- The height of any walls, railings, fences or hedges that demarcate the front property line will not exceed 1.2 metres high to ensure adequate surveillance of the adjacent properties.
- Privacy strips will provide a strong contrast with the adjacent footpath or shared surface in terms of materials, colour or detailing.
- Careful consideration shall be given to the co-ordination of boundaries along streets, particularly where variety is sought to provide a pleasing aesthetic.



Natural low stone wall fronting hot buildings.



Metal estate railings to match those in Great Oakley Village.



Hedge and shrub planting.



Climber pockets.



Shrub planting.

## Side Boundaries

The requirements for the treatment of side boundaries between gardens are as follows:

- Boundaries between gardens will have screens consisting of a 1.8m high fence.
- Flank walls to gardens where facing public realm to match materials of the house and will consist of 1.8m high brick or reconstituted stone walls.
- Any walls or fences adjacent to access points, where they are not providing privacy to rear gardens, shall be no higher than 600mm. This will ensure that pedestrian safety is secured.



Brick garden wall with shrub planting.



Example of side wall material matching the house.

## Rear Boundaries

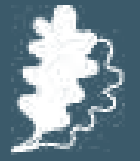
The codes for the treatment of rear boundaries to communal spaces, including car parking are as follows:

- The rear boundary of homes which share a secure central courtyard must allow surveillance of the parking area from habitable rooms whilst maintaining privacy within the rear garden area.
- Within the courtyard, the inclusion of planting, such as climbers, will be encouraged to green the fencing and provide visual variety and contrast.
- Where a gate is allowed between the courtyard and an individual property it will reflect the height of the boundary, it will be of high quality materials and design such as timber and it will be lockable from both sides.
- The boundary between two rear gardens will be a secure and visually impermeable timber fence of 1.8m to provide security and to ensure maximum privacy within the gardens.

## Fencing

Fencing, where permitted, shall provide suitable privacy between dwellings, and should therefore be:

- Posts shall be finished with a suitable capping.
- Close boarded fencing shall be used in areas that relate to semi-public realm [i.e. car parking courts] or private realms only.
- Panel fence systems can only be used between properties.
- The use of trellis of no more than 300mm upon a fence of 1.5m in height is allowed, and should be used where the boundary is considered exposed to the risk of intruder access such as within rear parking courts.



## Boundary Treatments within the Public Realm

A consistent approach to boundary treatment will be required in streets and open spaces throughout the development to ensure a coherent character:

- Public open spaces, green corridors and publicly accessible green infrastructure shall be free of boundary treatments. Where boundaries are unavoidable these should be low hedges or railings.
- Timber bollards, knee rails or shrub planting should be used to prevent vehicular access or parking on the Public Open Space where required.
- Attenuation features should be designed with gently sloping sides and appropriate planting to avoid the need for fencing.

- Play areas do not have to be fenced if other management measures can successfully limit access by dogs and are safely located away from highways/cycleways (to prevent children running onto roads and cycleways), if fencing is required a timber fencing/estate railings and hedge treatment will provide a natural treatment.
- Appropriate planting should be used to deter access into ecological sensitive areas.

### Boundaries Adjacent to Green Infrastructure



Timber knee rail / bollards used along sections of the road to stop parking on the green space.



Metal estate railings.



Shrub planting used along sections of the road to stop parking on the greenway.

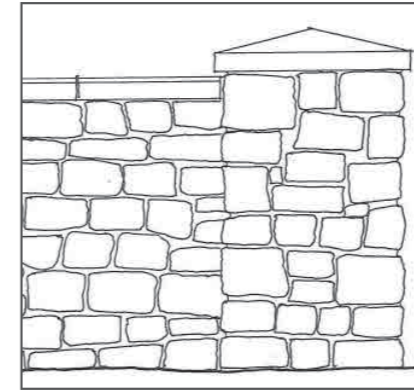


Hedging treatment to play area, providing a natural landscape treatment.

### Boundary walls to key gateway space on Chepstow Green facing Chepstow Road

Reconstituted stone walls should be used to frame the entrance to Phase 8 from Chepstow Road.

A brick or reconstituted stone capping could be used in local styles such as those shown in the below image.



Reconstituted stone walling in limestone colour.



Examples from the Great Oakley Estate Village

### Head Walls

Head walls for SuDS features will need to be appropriately landscaped.

Anglian Water to be consulted on the headwall detail.

DO



Stone head walls within landscaped areas.

# 4 Building Typologies

## Hot Areas

Hot buildings and groups of buildings will have the greatest degree of enhanced detailing and will use architectural features that are bespoke – and have been designed specifically for use on this site, and to reflect a local example. The materials will also be higher quality when compared with a developers 'standard' specification.

### Hot Buildings are:

- Key gateway buildings at the site entrance.
- Groups of buildings that enclose Public Open spaces or Greens within the masterplan.
- Buildings onto Corners.
- Buildings at the ends of street vistas.

**There are 17 hot units or 7% of the total.**

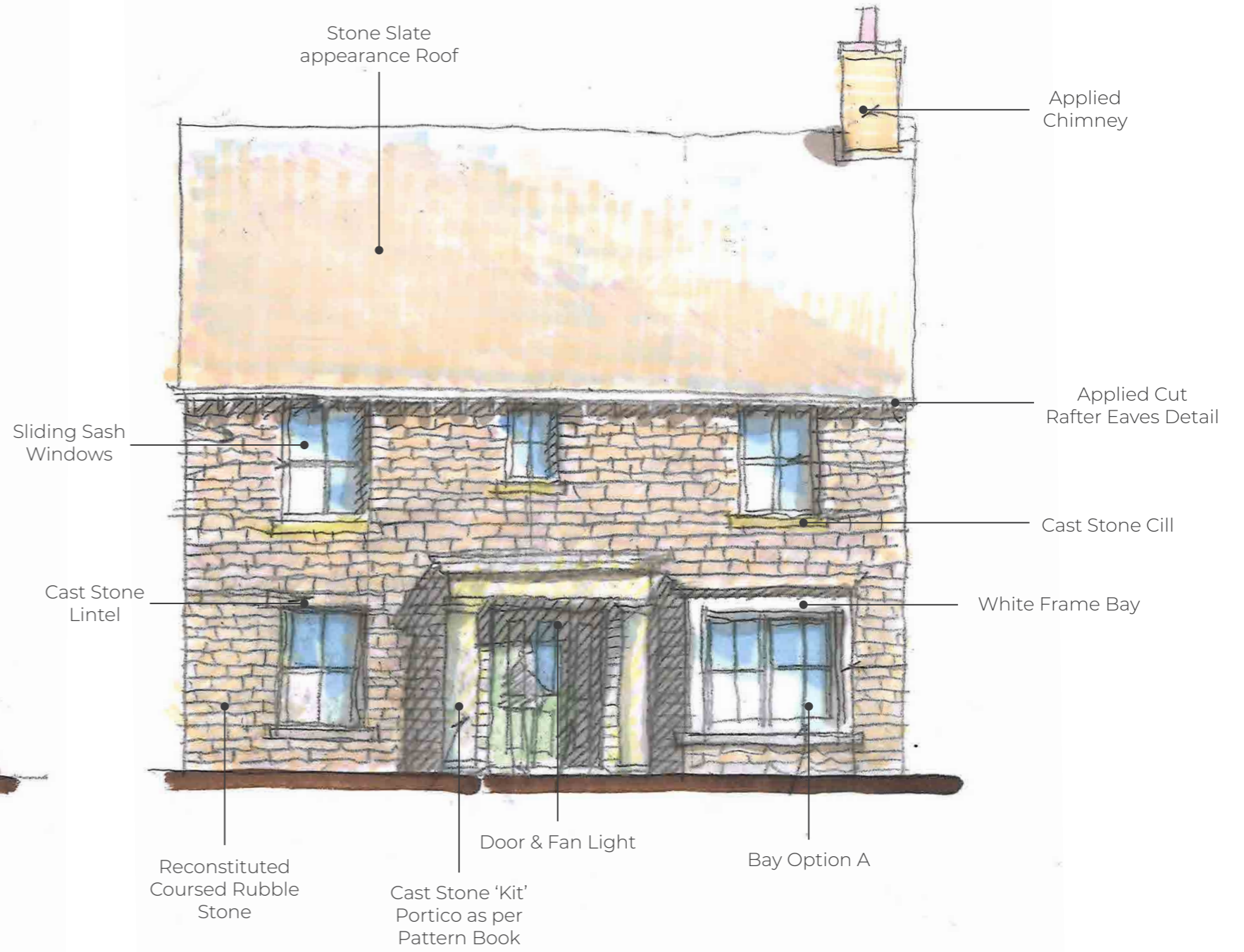
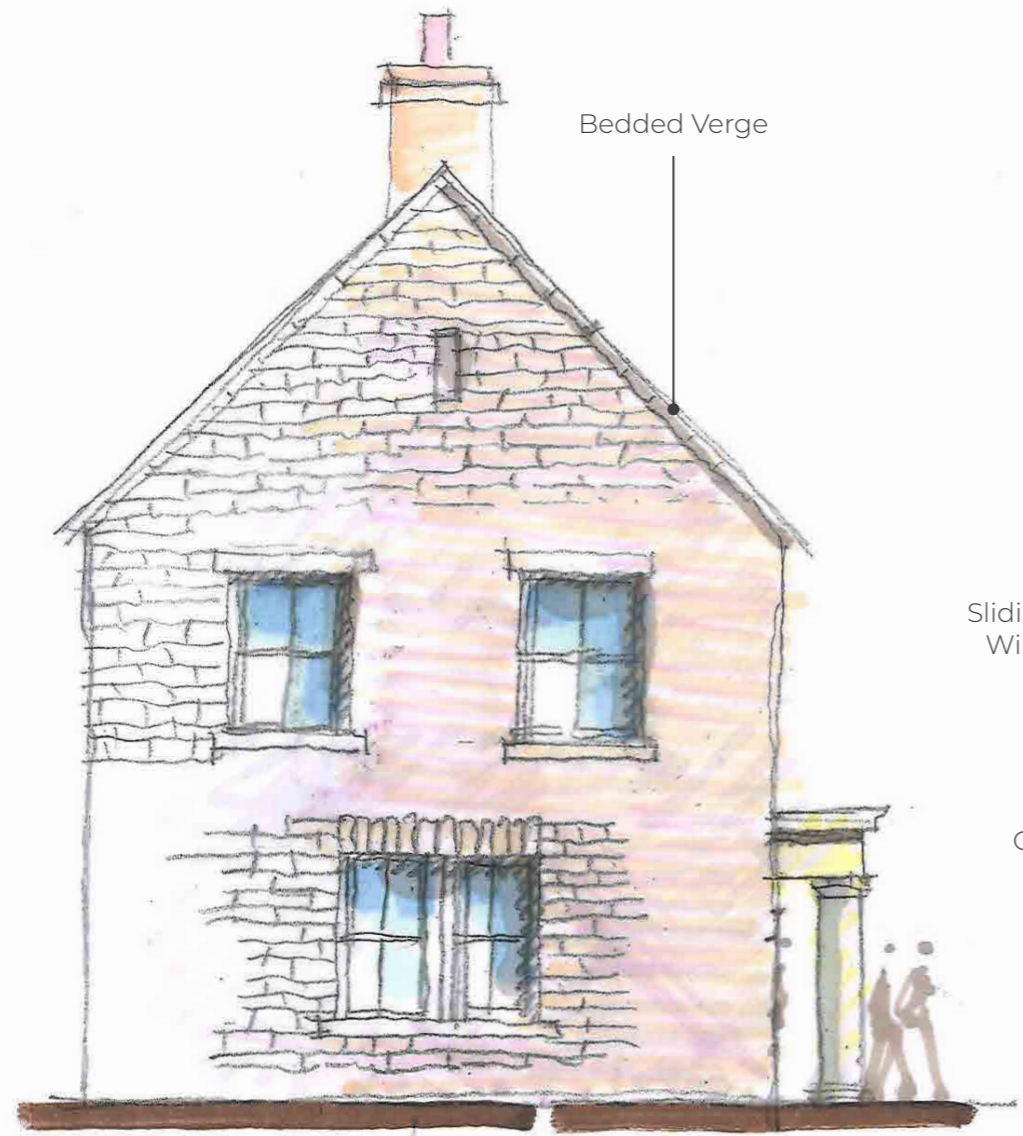


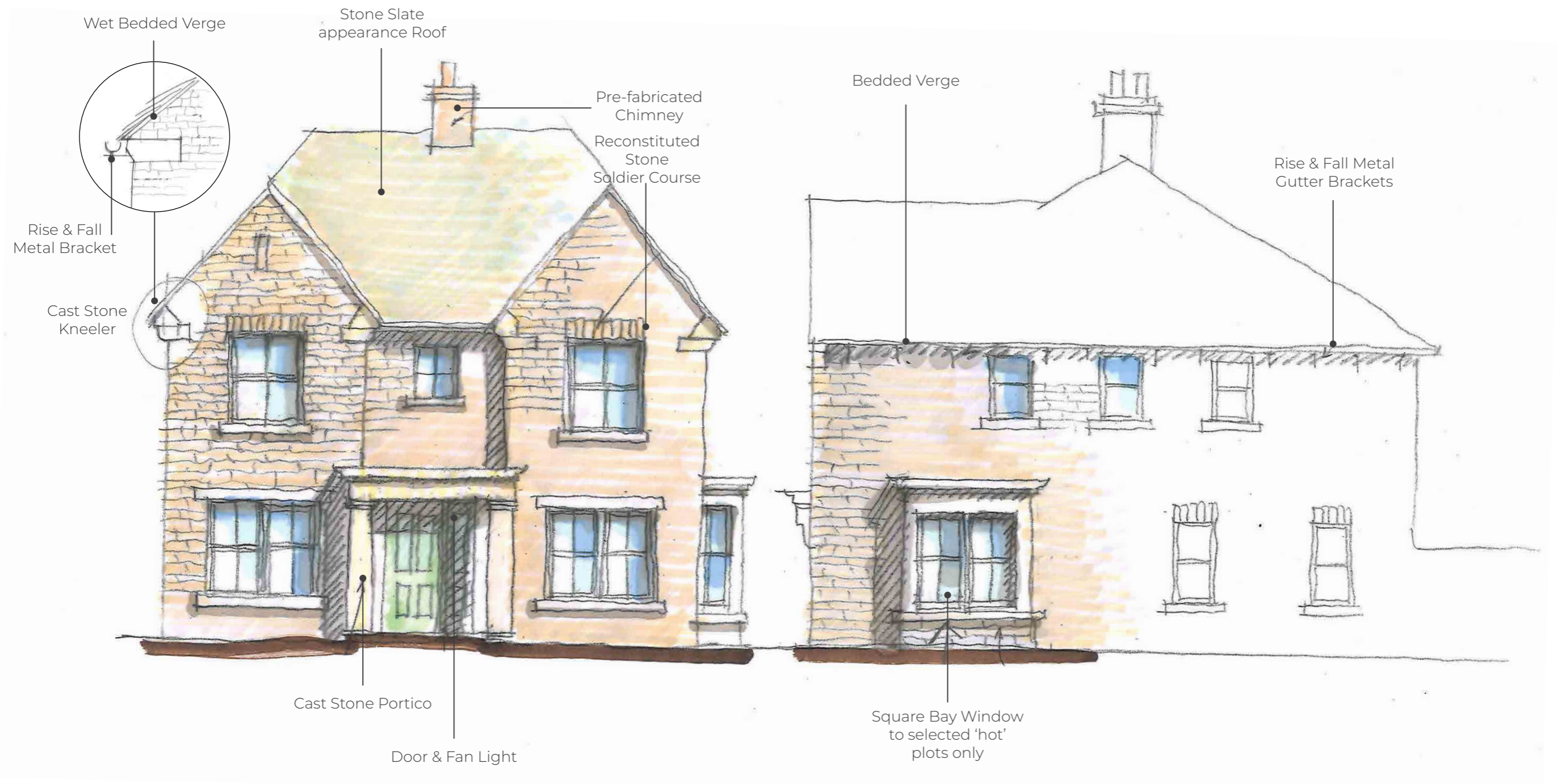
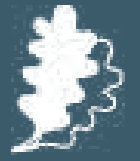
Reconstituted stone rubble wall with capping will be used to enclose front areas of hot buildings as seen in Great Oakley Village.



— Site boundary  
■ Indicative location of Hot buildings

# 4 Building Typologies - Hot

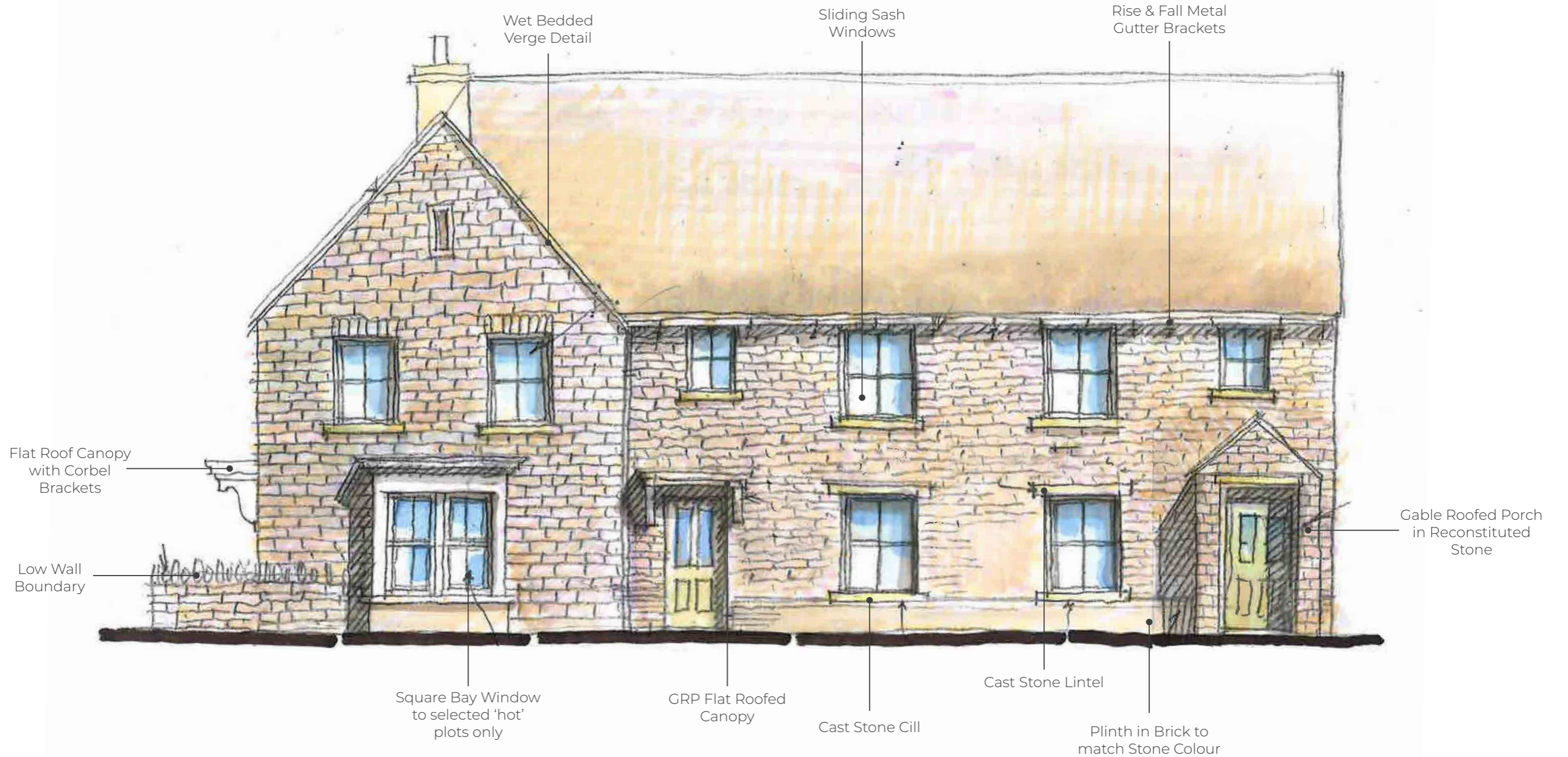


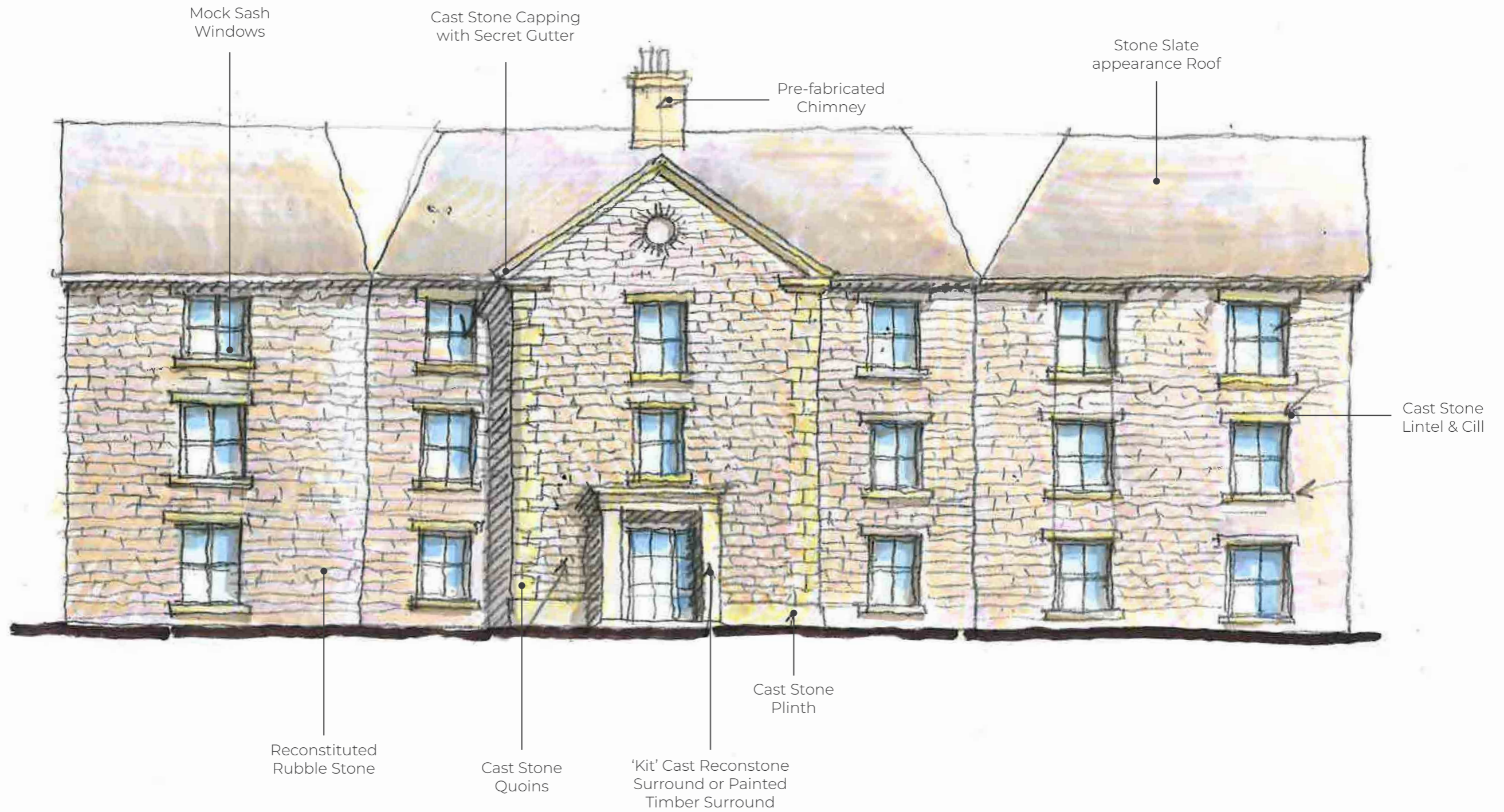
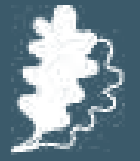


Key building facing open space or at end of vista

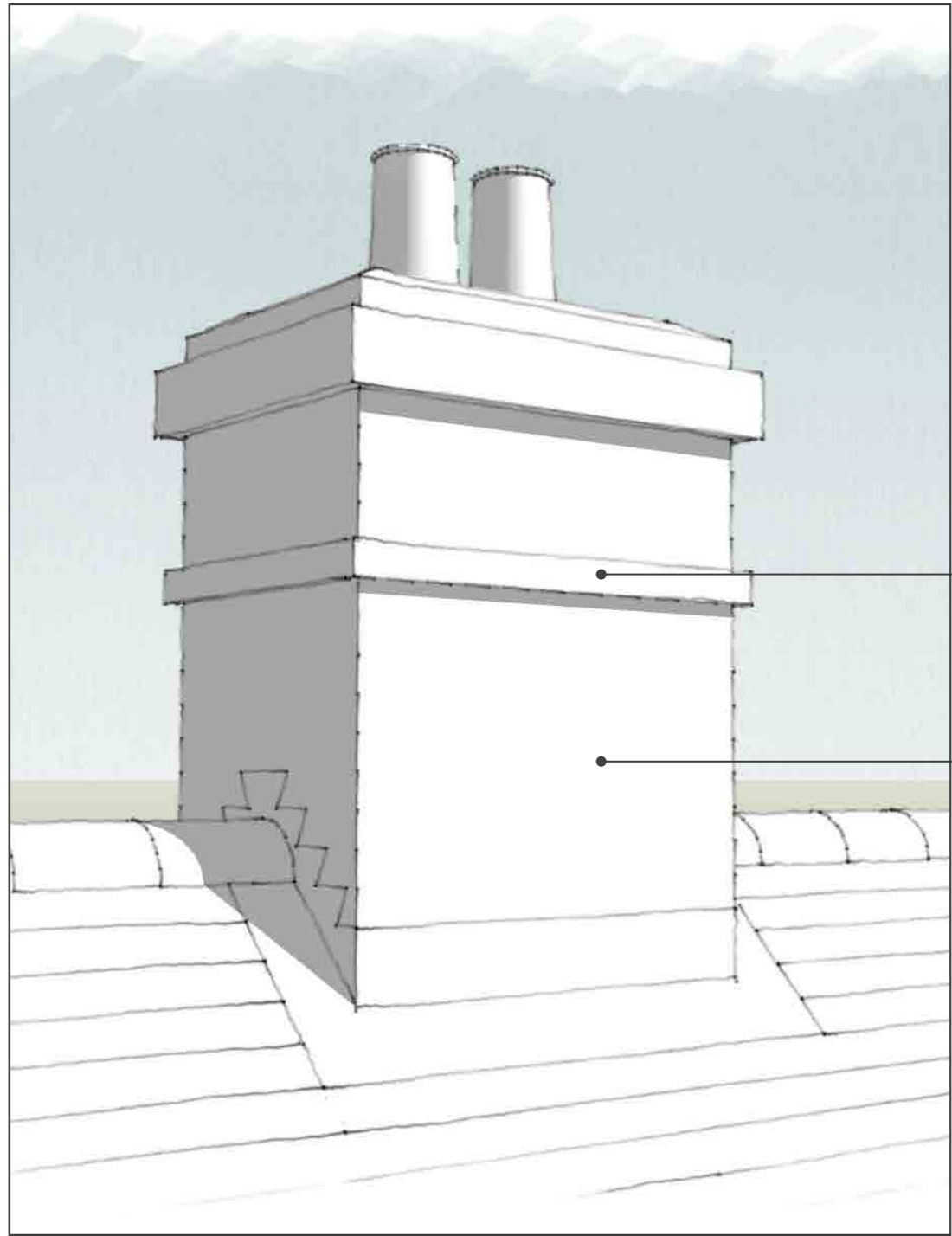
Hot

# 4 Building Typologies - Hot



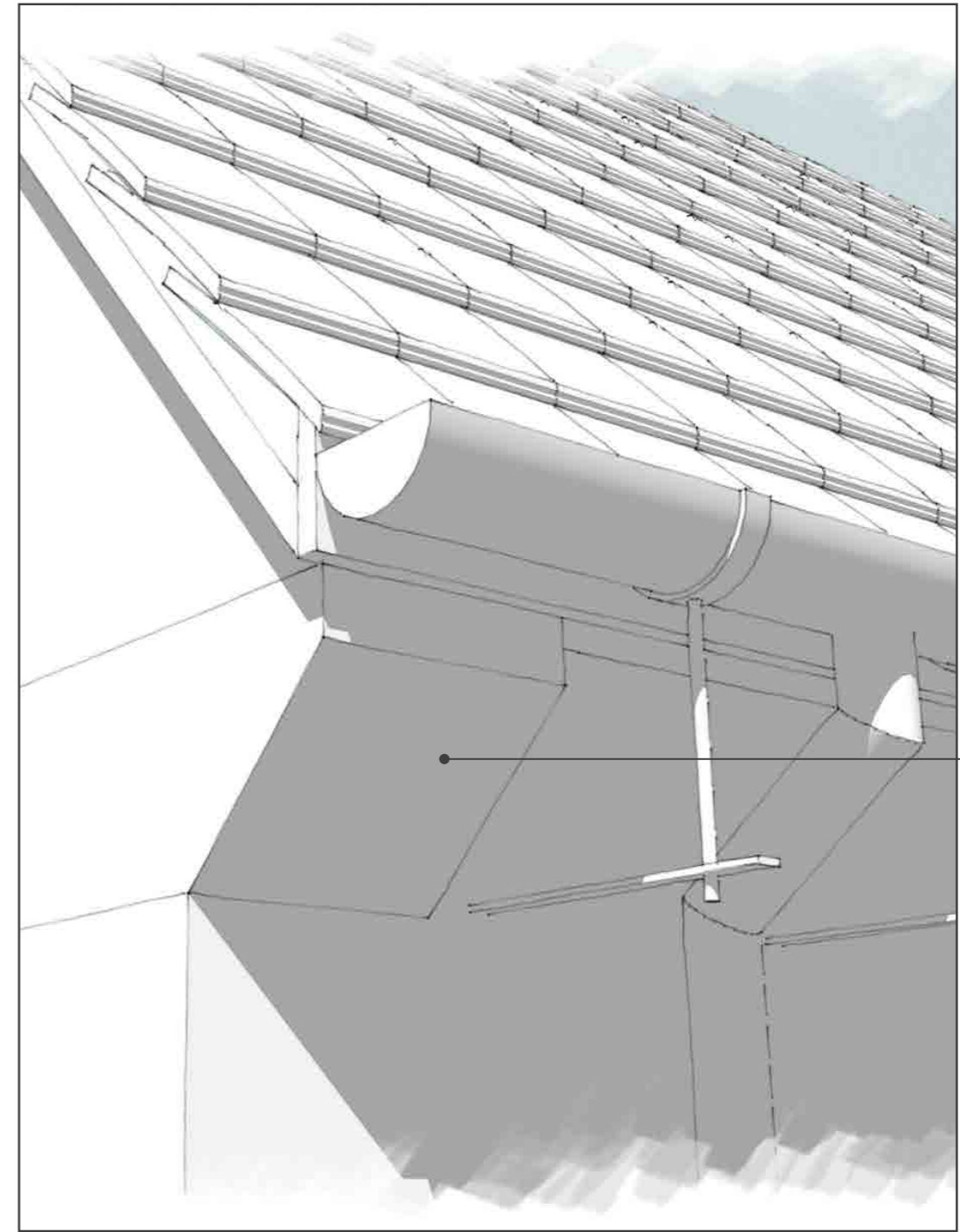


# 4 Building Typologies - Hot | Roof Details

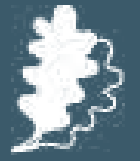


Projecting  
brick course

Chimney finished  
in brick slips



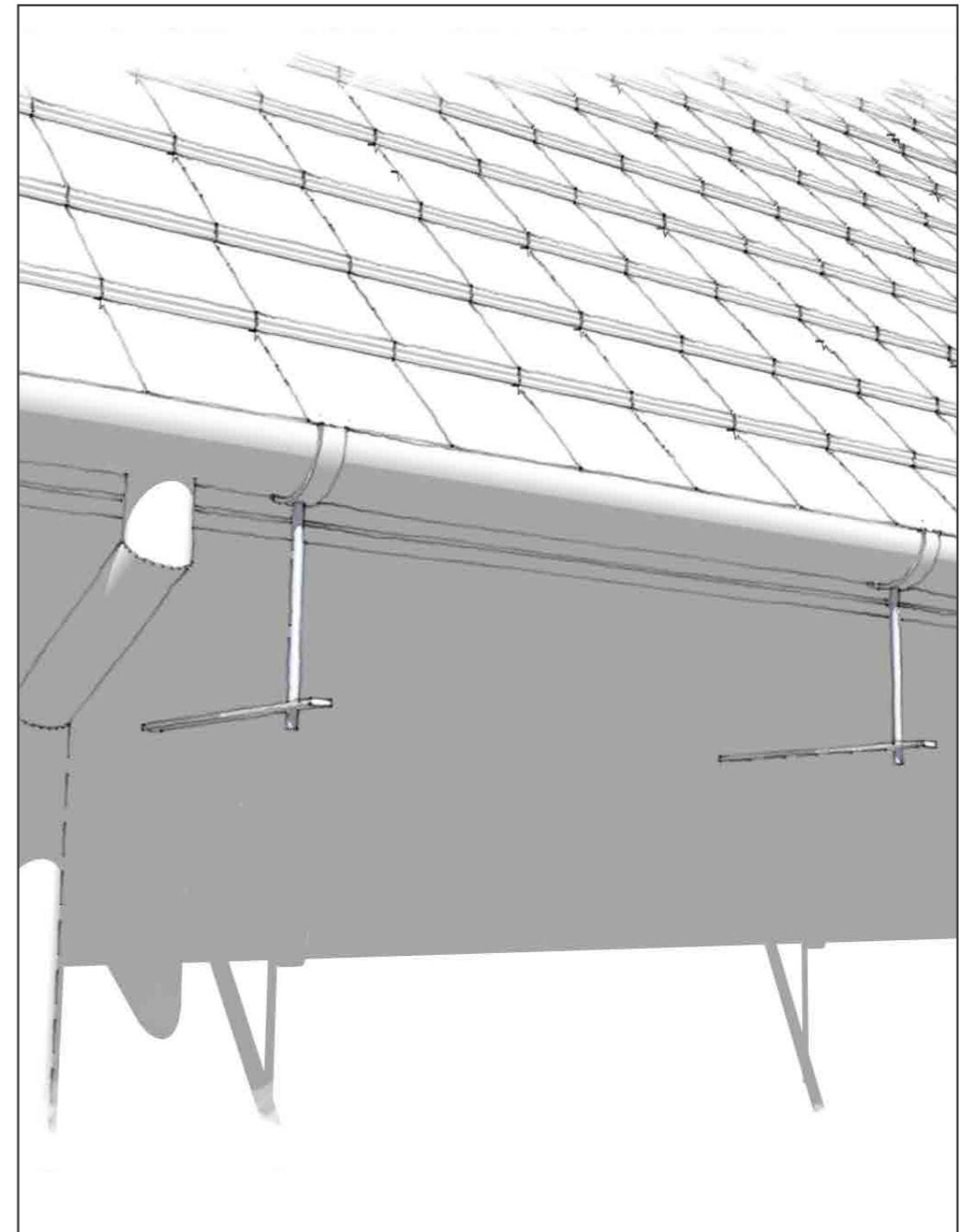
Decorative  
Stone Kneeler



Cut rafter eaves



Sliding Sash Window

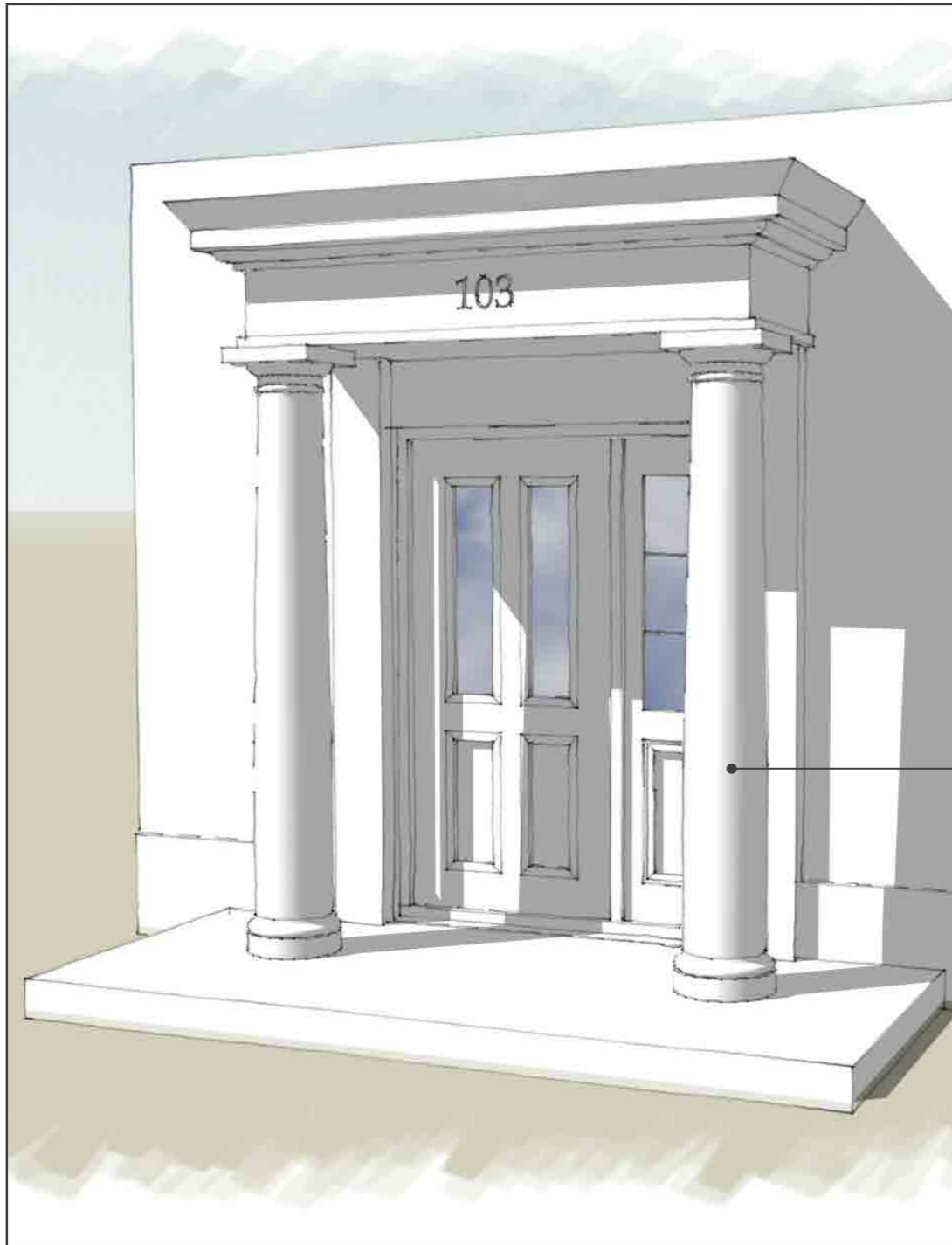


Rise & Fall Gutter Brackets

Eaves

Hot

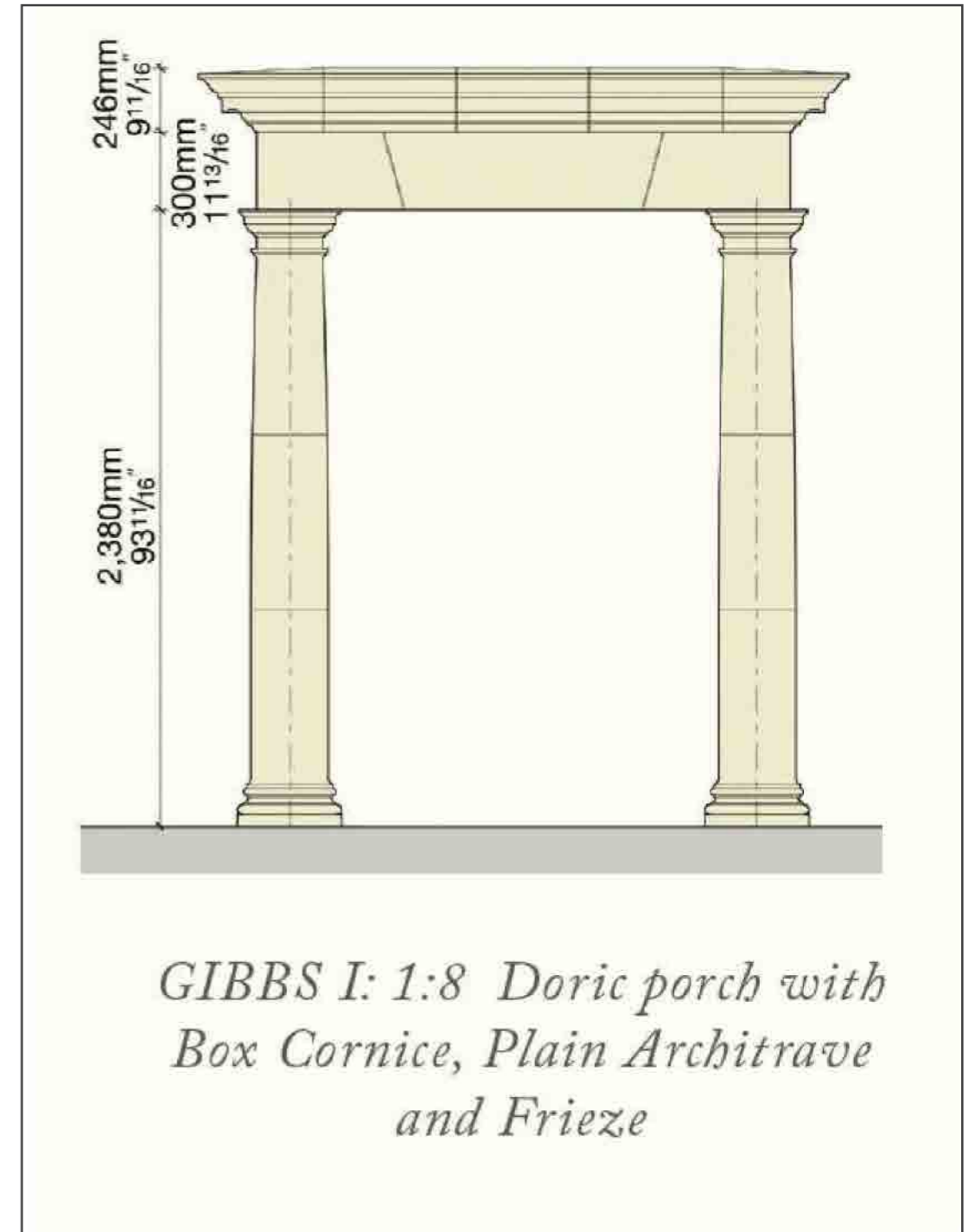
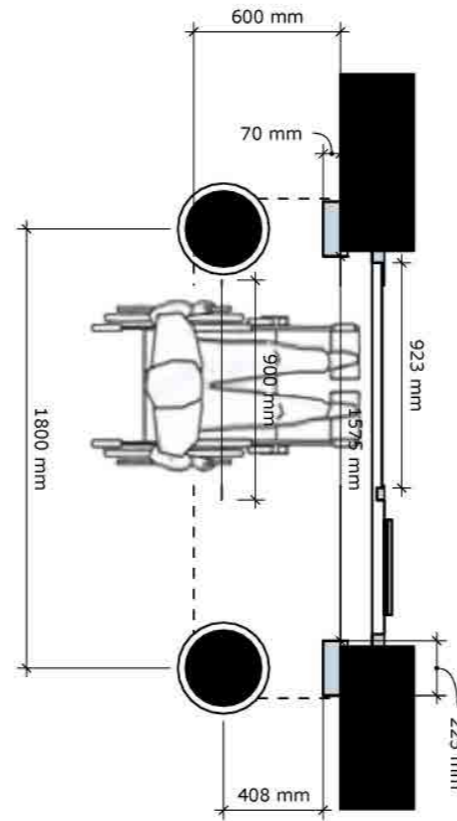
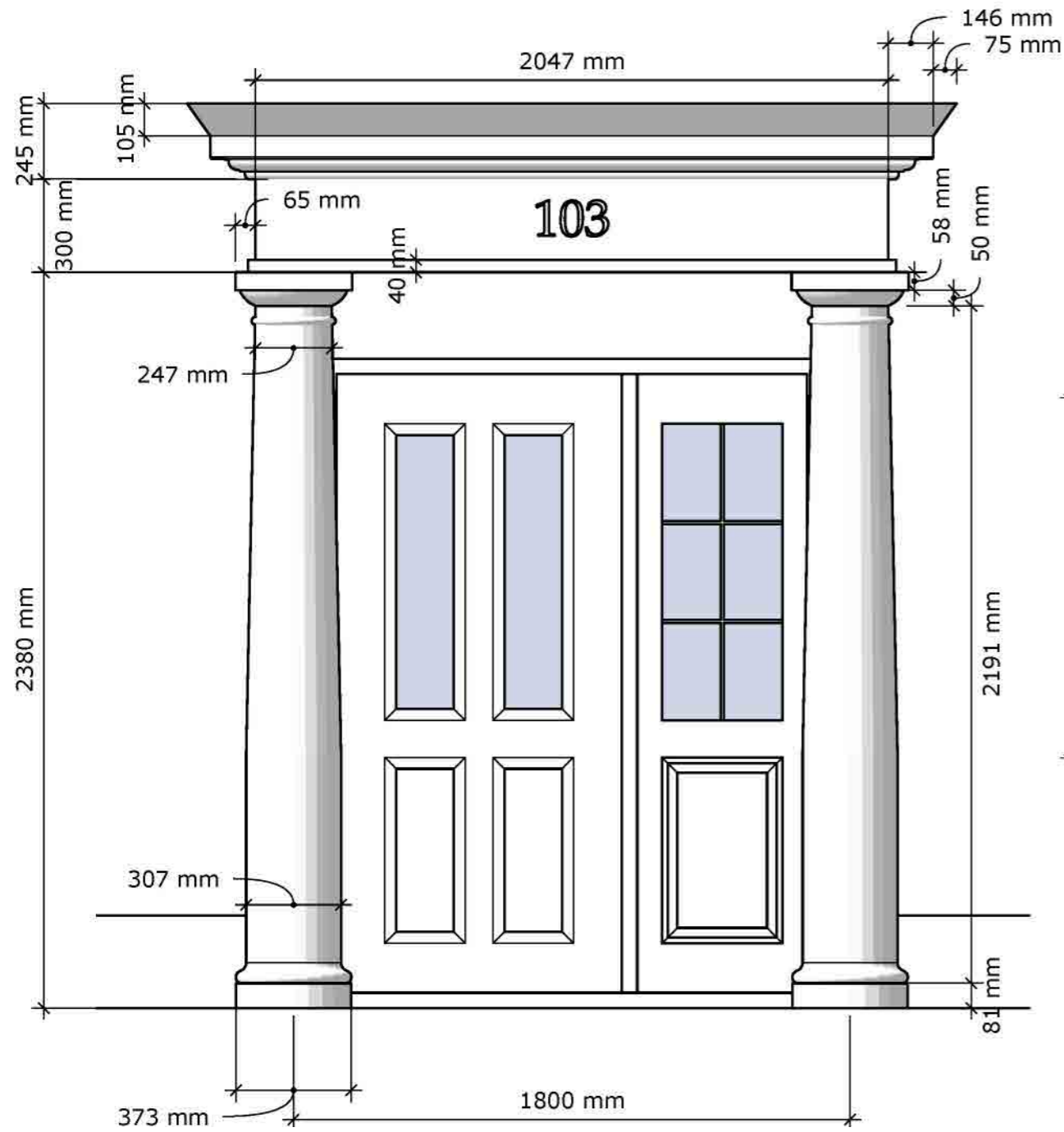
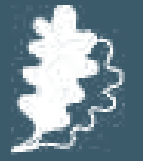
# 4 Building Typologies - Hot | Door Surround & Canopy Details



Cast Stone Portico

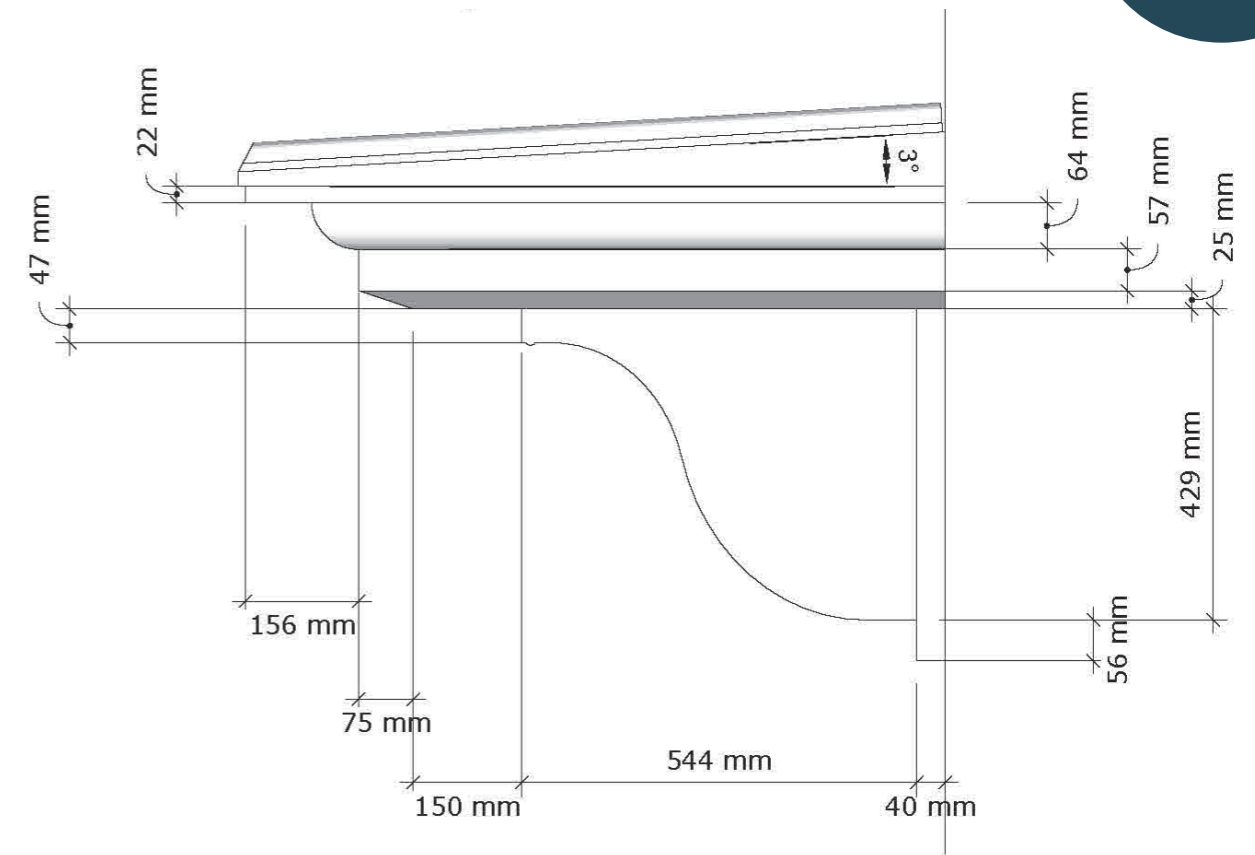
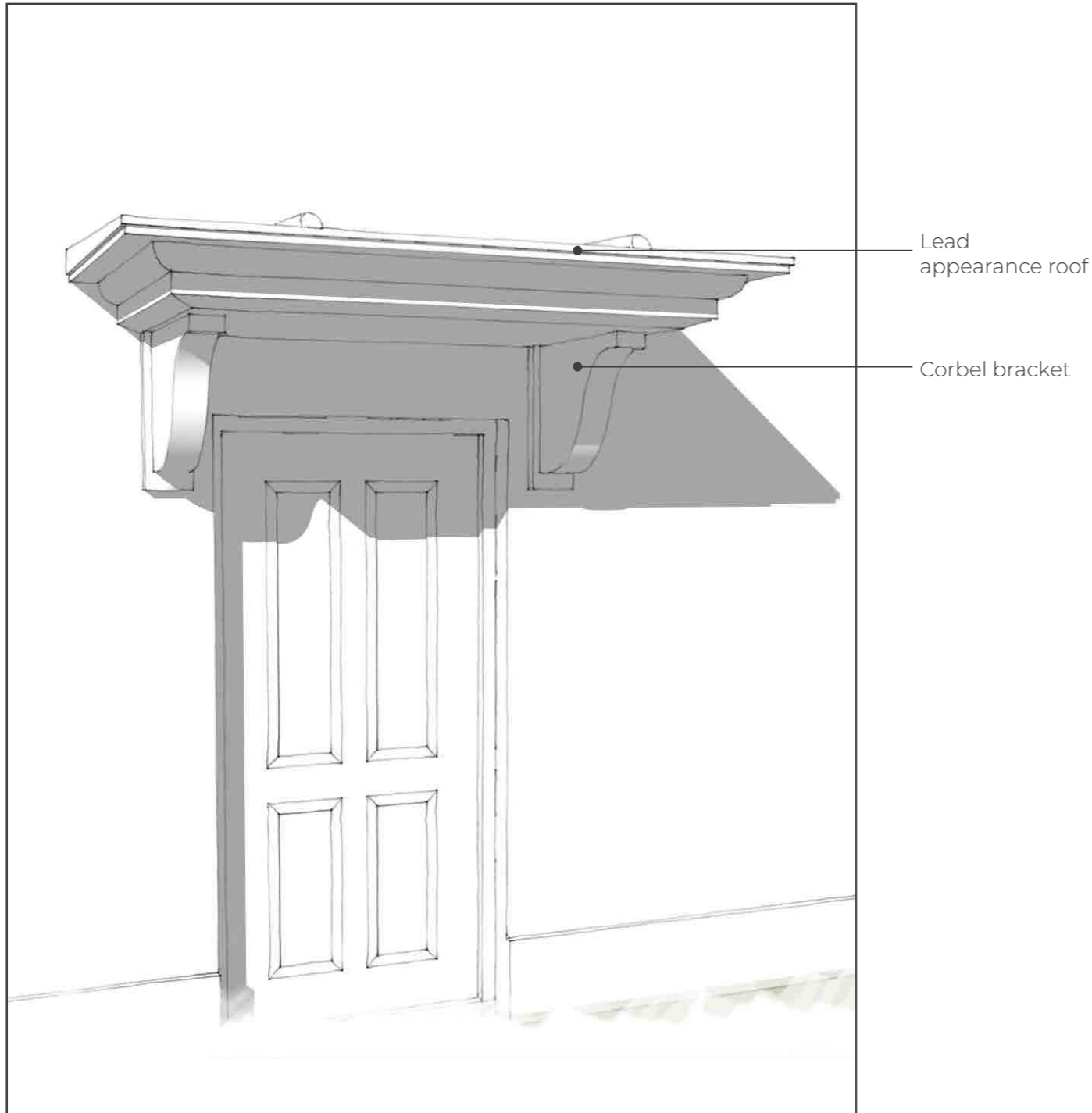


All canopy details to comply with M4(2) requirements set out in the Building Regulations

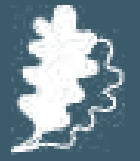


Hot

# 4 Building Typologies - Hot | Door Surround & Canopy Details



All canopy details to comply with M4(2) requirements set out in the building regs



Reconstituted rubble stone surround with cast stone lintel to match those in Great Oakley



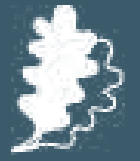
All canopy details to comply with M4(2) requirements set out in the building regs



# 4 Building Typologies - Hot | Window Details



PVCU Sliding Sash Windows with Off White or Grey Green Foil



Bay Window frame to be same material as Window frame

PVCU Sliding Sash Windows with Off White or Grey Green Foil



Decorative round pattern in contrasting brick colour

Square Bay

Stone Pediment

Hot

# 4 Building Typologies

## Warm Areas

Warm buildings and groups of buildings will form the main streetscape along the Principal Route or 'Primary Street' through the site. Rather than individual enhancement, the aim of the warm buildings is to create a cohesive 'whole' without individual variations. Some features will be bespoke – and have been designed specifically for use on this site to reflect a local example. A selected palette of materials including reconstituted stone, stock brick, render and painted brick will be used to reflect the local character and to identify groupings of buildings framing key spaces.

### Warm buildings are:

- All the frontages that face the Principal route.
- Groups at the ends of street vistas.
- Buildings that face the existing properties along Chepstow Road.
- Buildings that face the approach roads to the proposed Local Centre.
- Buildings that face outwards towards the proposed Oakley Vale Park.

**There are 143 warm units or 53% of the total.**



Metal estate railings to match those in Great Oakley Village and around the edge of the manor house will be used where the building faces onto the public linear park and to provide defensible space around key spaces along the Loop in conjunction with low hedgerow planting.



- Site boundary
- Indicative location of Warm buildings

# 4 Maintaining a Continuous Building Line - Warm



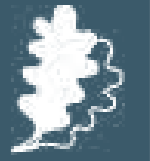
The houses along the Primary Street are all within the regulatory WARM zone.

The aim is to produce a design that is recognisable, to residents and visitors alike, as a traditional 'Main Street' with a continuous building frontage and building line. This is difficult to maintain with modern requirements for on plot parking and refuse collection – however the semblance continuity can be achieved by using linking roofs or rooms over driveways.

This combined with other 'warm' features will give the Principal Street the highest status as the High Street.

### There are 3 ways of doing this:

1. Car Port.
2. Roof with fascia. Added height to the brickwork / reconstituted stone / boarding in some cases increases the scale where it is flanking a taller building.
3. Linking roof and dormer over driveway. This would be an additional link to the houses on either side. The important point is the visual linkage of the houses at first floor level to bridge the gaps of the drives.



2

2

3

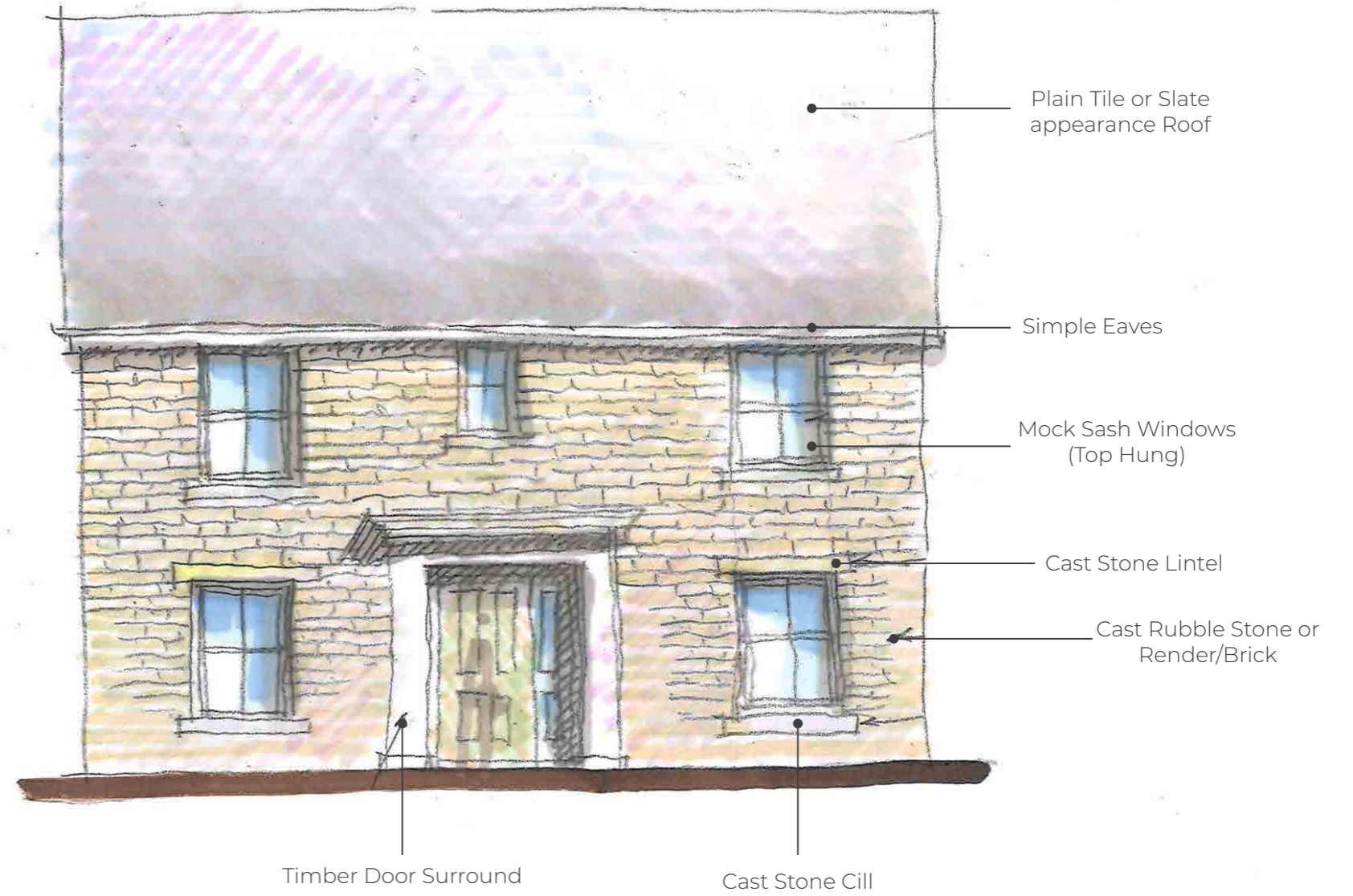


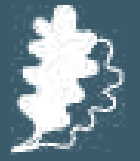
1

3

2

# 4 Building Typologies - Warm





Building in group with others along Primary Street

Warm

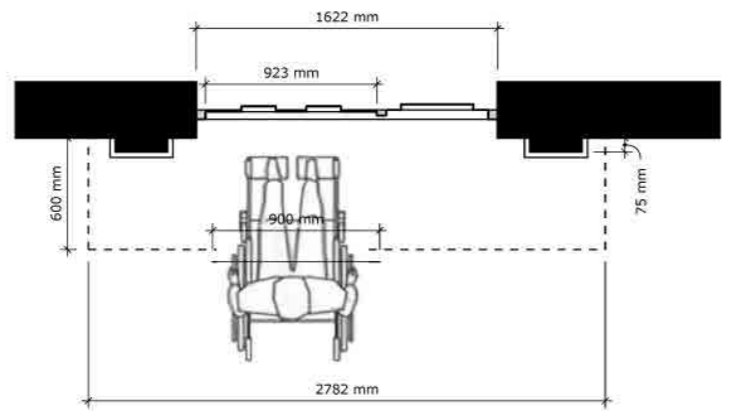
# 4 Building Typologies - Warm | Door Surrounds

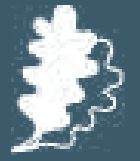


Plain surround with corbel bracket

Decorative Timber Door Surround

All canopy details to comply with M4(2) requirements set out in the building regs

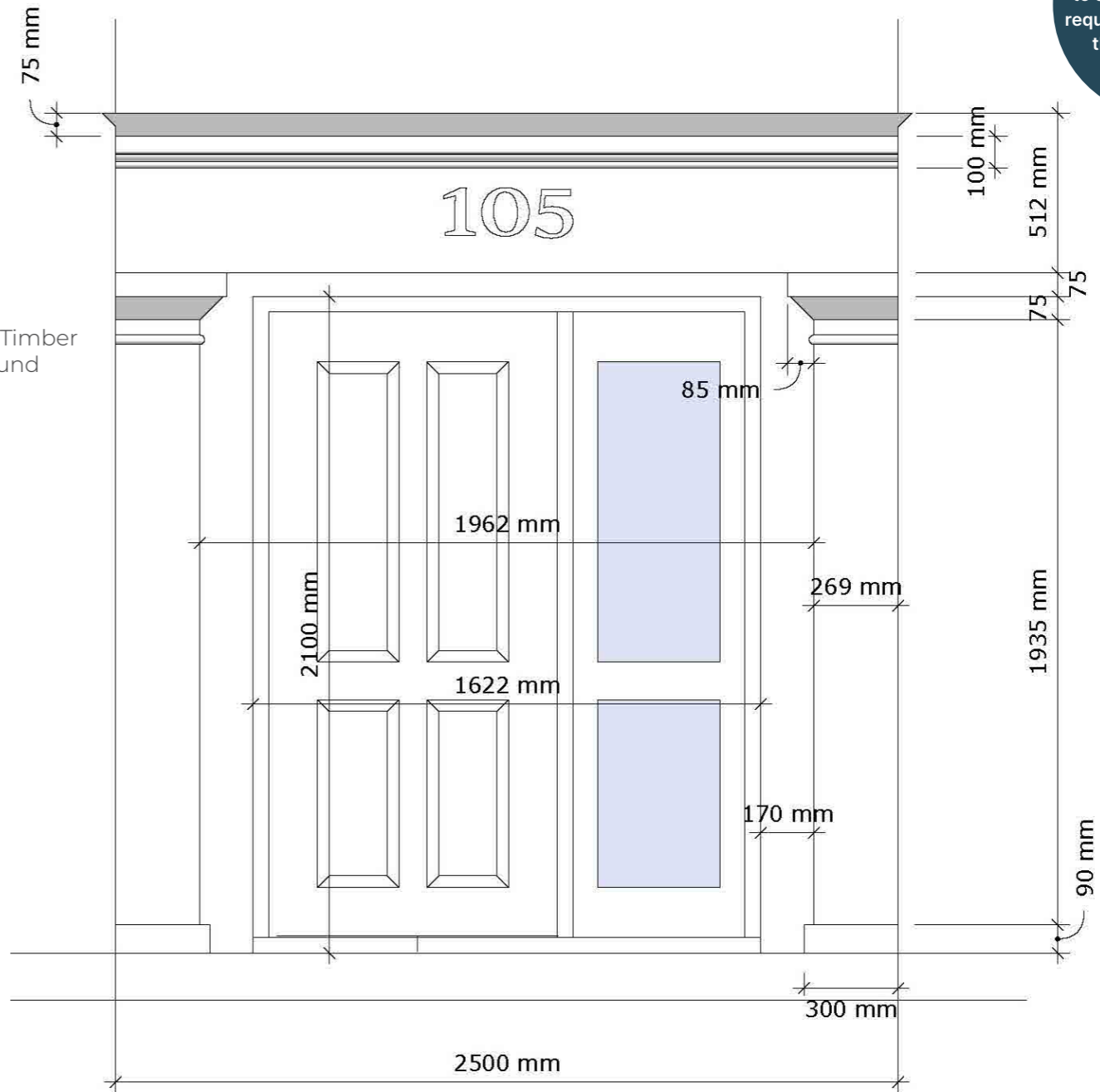
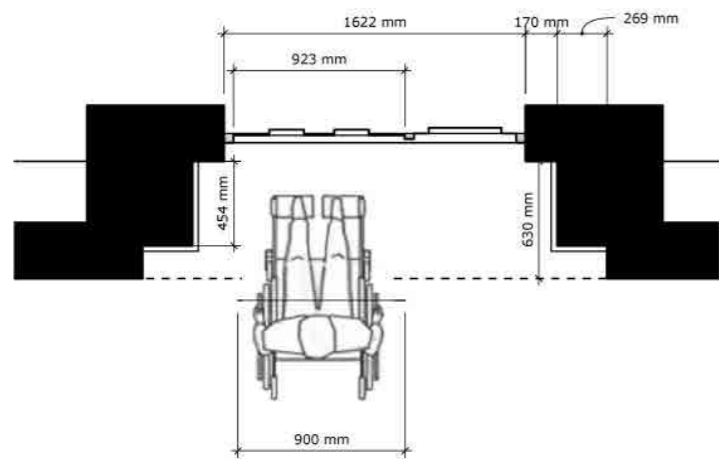




All canopy details to comply with M4(2) requirements set out in the building regs



Decorative Timber Door Surround



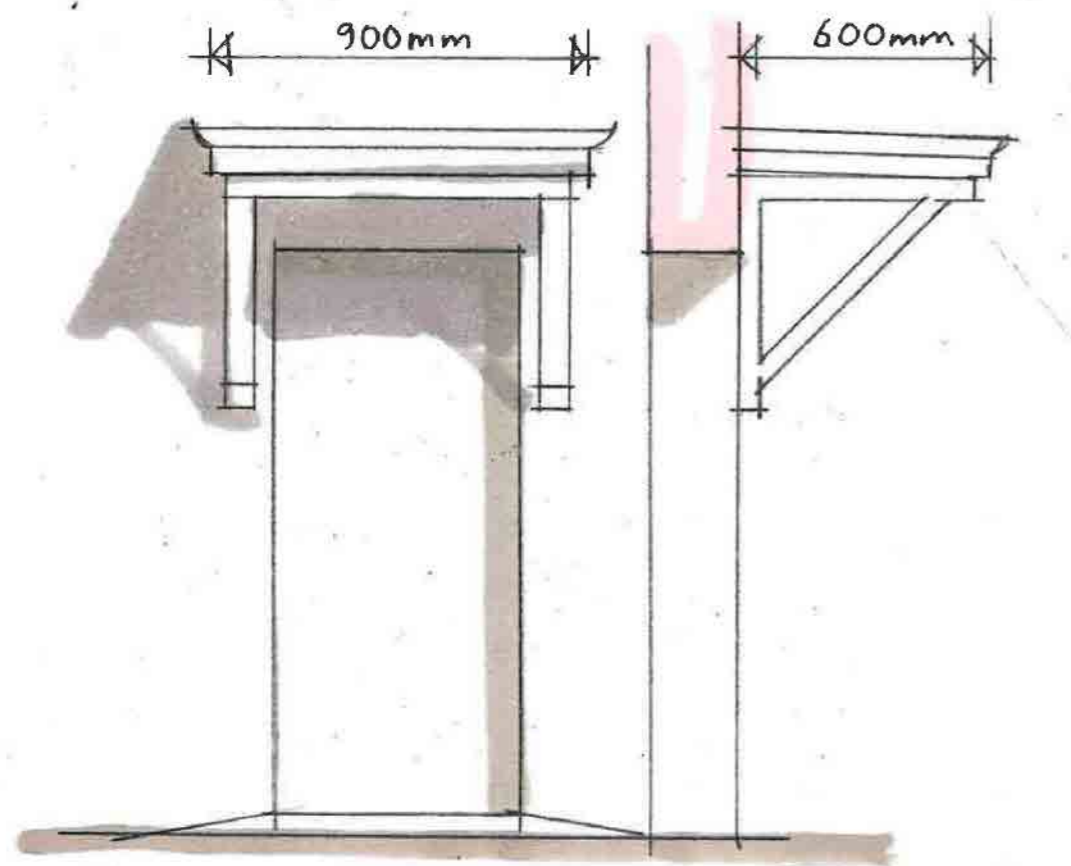
Timber Door Surround

Warm

# 4 Building Typologies - Warm | Simple Timber Door Canopy

The houses all have to be M4-2 compliant, and regulation requires a minimum 600 × 900mm cover above the front door for wheelchair users.

Though many traditional houses have no canopy at all, that is not possible to be policy compliant, and therefore a simple timber canopy will be used for approximately 50 of the houses in the warm category zone, along the Principal Street.

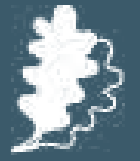


Black Stained  
Timber Brackets



All canopy details  
to comply with M4(2)  
requirements set out in  
the building regs

# Building Typologies - Warm | Windows



Top Hung Window



Double Flush Casement



Single Flush Casement

Mock Sash Window

Double Flush Casement Window

Single Flush Casement Window

Warm

# 4 Building Typologies

## Cool Areas

Cool buildings will form the inner streets and lanes. Cool buildings will have a more flexible approach with less regulated/detailed elevations. Main materials will be render and stock brick.

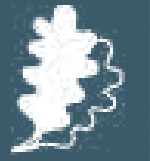
### Cool buildings are:

- Facing the School site.
- Facing Inner lanes or secondary streets.
- Some groups facing the open parkland where they are bookended by Hot or Warm buildings.

**There are 110 cool units or 40% of the total.**



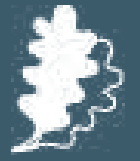
Low frontage planting will be used to enclose front areas of cool buildings similar to this example in Great Oakley Village.



- Site boundary
- Indicative location of Cool buildings

# 4 Building Typologies - Cool

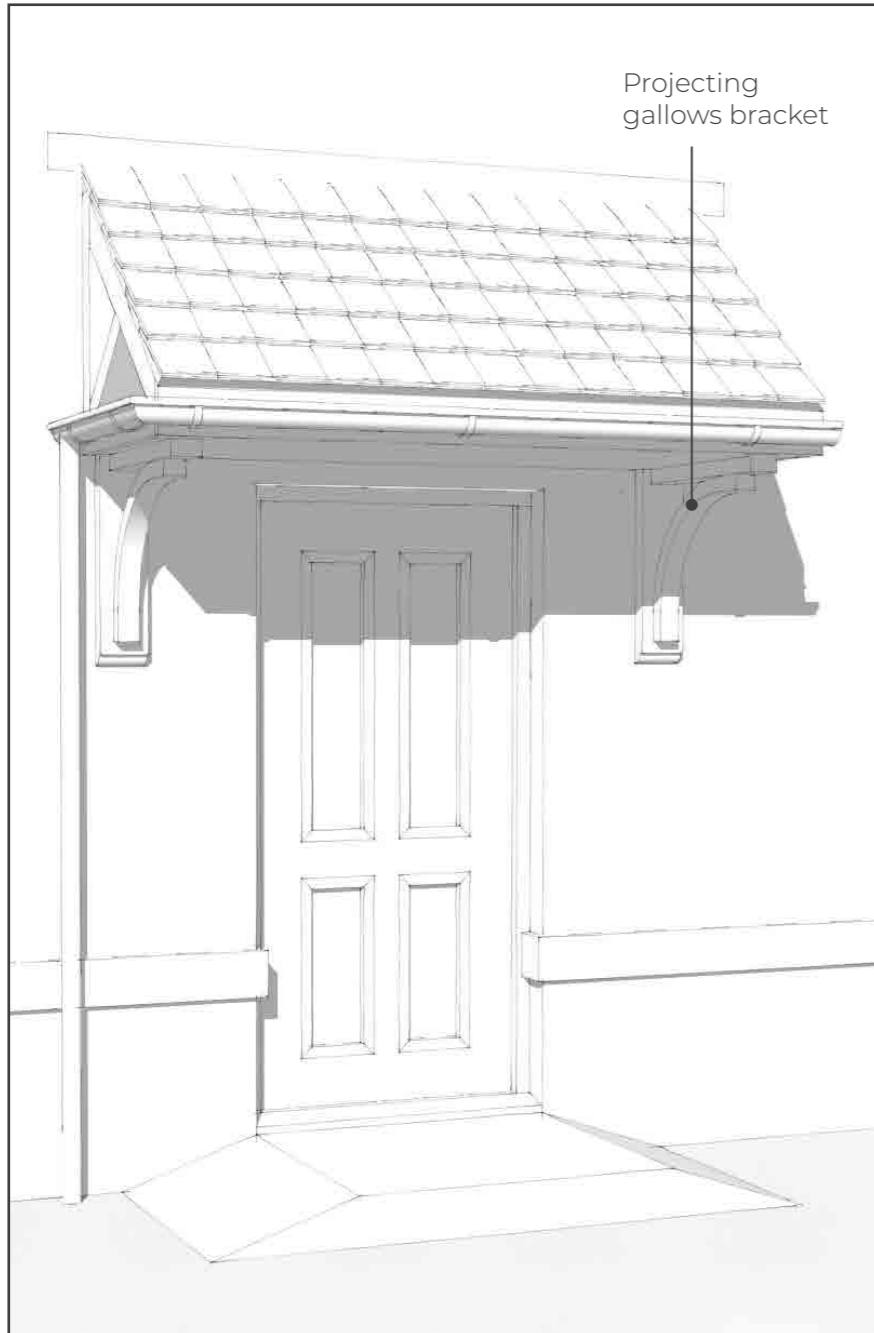




Building group within cool area

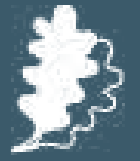
Cool

# 4 Building Typologies - Cool | Door Surround Details



All canopy details to comply with M4(2) requirements set out in the building regs

# Building Typologies - Cool | Window Details

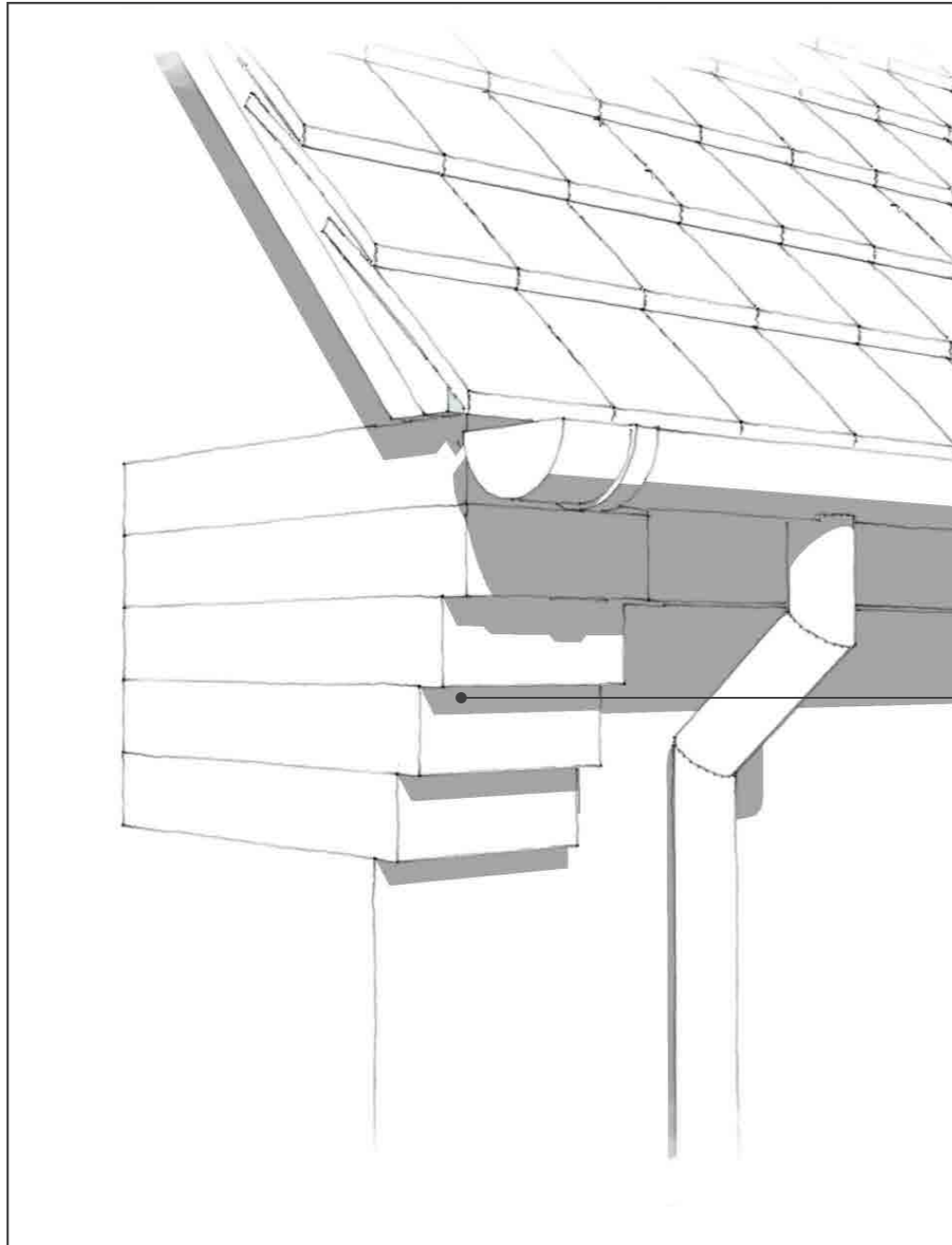


Window 3 Pane

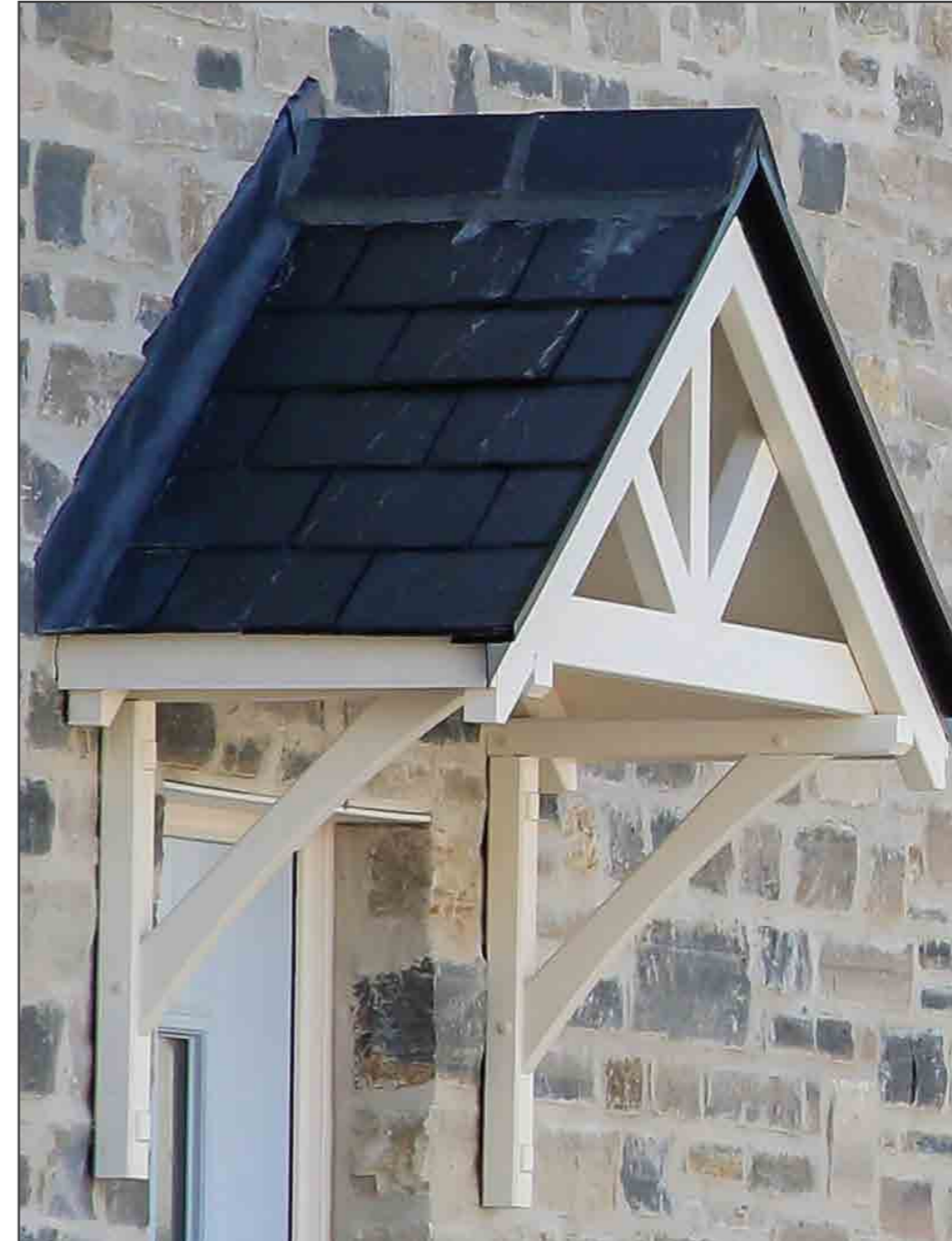
Window 2 Pane

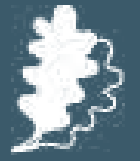
Cool

# 4 Building Typologies - Cool | Roof & Porch Details



Projecting brick detail kneelers





Cool buildings will have a more flexible approach with less regulated/detailed elevations. Main materials will be render and stock brick rather than wire cut bricks.



Examples of house builder / developers houses for use in Coll areas.

# 4 Minimise Opportunities for Crime

Reserved Matters applications will be designed to promote natural surveillance and a sense of ownership over both private and public areas through a clear perimeter block structure and well-overlooked public spaces. The goal is to ensure that every part of the scheme is clearly identifiable as either public or private space.

The design should address the key principles highlighted within the guidance literature 'Secure By Design' to adopt crime prevention measures through environmental design.

## Layout, Permeability and Orientation of Dwellings

The Illustrative Masterplan is defined by perimeter blocks with buildings addressing the periphery of the block and the streets and with private gardens and amenity spaces concentrated securely at the centre of the block.

Permeability is a key feature avoiding rat runs. Streets and key movement routes are, as much as possible, overlooked by development.

Footpaths and cycle routes will be designed to provide direct, well-defined, and legible connections between key destinations, encouraging active use.

Additionally, landscaping and lighting will be designed to ensure these routes are safe, secure, and accessible for all users, with good visibility along their length. Planting will be carefully designed to prevent concealment spots, avoid blocking natural light, and ensure the effectiveness of street lighting.

Communal areas and play spaces will be designed to be safe and benefit from natural surveillance from nearby dwellings.

## Active Frontages

All streets are to be designed to have buildings with active frontages. Houses and buildings will include habitable rooms with windows facing the street to enhance passive surveillance. This is particularly important for corner buildings, which will feature windows addressing both adjoining streets and the public realm.

Proposals will avoid blank walls and windowless elevations. All buildings will engage with the public realm, particularly those situated at corners or adjacent to public spaces.

The proposal includes the creation of active frontages as follows:

- Houses are to be arranged to address the street or individual spaces and to give positive enclosure to these areas so they are overlooked and create a sense of ownership.
- Vehicular and pedestrian entrances are 'policed' by gateway buildings, which overlook these spaces.
- Care has been taken to ensure activity to the frontages at corners with overlooking windows to gable ends.
- The scheme provides a clear definition between public and private areas that are secure and well defined.

## Defensible Space

All houses will have private amenity spaces (predominantly front and rear garden) that are secured and overlooked.

Front gardens will predominantly feature low structures and soft landscaping at a height that does not compromise visibility from internal spaces.

The Illustrative Masterplan avoids exposed rear boundaries open to the public. Any rear boundaries that back onto communal parking courts will be enclosed with 1.8m-high fencing.

Boundaries to the side or rear of properties will be enclosed with close-board fencing at a height of 1.8m. Where side boundaries face the public realm, brick/reconstituted stone walls will be used instead, matching the primary material of the building.

Access footpaths to rear gardens are to be kept to a minimum, and where required to serve terraces, they should only be shared by a couple or a small number of residents.

Street furniture and utility equipment shall not be positioned such that they provide climbing aids over boundaries.

## Parking

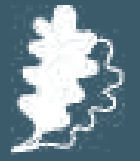
Parking within the development will be on a hard standing within the dwelling boundary, on street or within small and lit communal parking courts adjacent to the properties it serves.

On street parking bays will be located with good natural surveillance, overlooked by private dwellings and adjacent to vehicular and pedestrian traffic.

## Lighting

All adopted streets will include lighting to adoptable standards, including cycle and pedestrian paths.





# Housing Standards

## Nationally Described Space Standards (NDSS) and National Accessibility Standards (NAS)

Dwellings will need to comply with NDSS and NAS category M4(2).

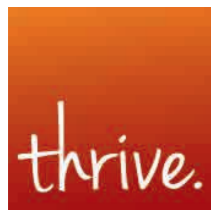
The house types used within the Illustrative Masterplan such as the examples illustrated below, comply with these requirements. Porches and dormers also comply with M4(2) requirements as illustrated within the previous sections.



Typical example of 4 bedroom unit - Ground and first floor plans.



Typical example of 3 bedroom unit - Ground and first floor plans.



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